

TOWN OF CRESTON ADU

IFBP

2024-07-15



DRAWING LIST

A000	COVER PAGE
A001	NOTE, LEGENDS, KEY PLAN
A002	CODE REVIEW & BYLAW REVIEW
A003	EXPOSED BUILDING FACE
A004	DOOR AND WINDOW SCHEDULE
A101	SITE PLAN
A201	PLANS - 1 BED ACCESSIBLE
A202	PLANS - 1 BED
A203	PLANS - 2 BED
A205	PLANS - 3 BED
A206	ROOF PLANS - 2 & 3 BED + DORMER WINDOWS RCP
A207	FRAMING PLAN
A301	ELEVATIONS - 1 BED
A302	ELEVATIONS - 2 & 3 BED
A401	BUILDING SECTIONS-1 BED ACCESSIBLE
A402	BUILDING SECTIONS-1 BED
A403	BUILDING SECTIONS-2 BED
A404	BUILDING SECTIONS-3 BED
A501	TYPICAL DETAILS
A502	TYPICAL DETAILS
A503	TYPICAL DETAILS
A504	DETAILS STAIRS
A505	DETAILS DORMER WINDOW
A1000	PERSPECTIVES

TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

SHEET
COVER PAGE

A000

BELOW GRADE LOAD-BEARING WALL		
	<p>EXTERIOR</p> <p>FNT - ICF FOUNDATION (OR ACCEPTABLE ALTERNATIVE)</p> <p>WATERPROOF MEMBRANE 2 5/8" RIGID INSULATION 8" CAST-IN-PLACE CONC. (FOUNDATION WALL THICKNESS AS PER BCBC 9.15) 2 5/8" RIGID INSULATION</p> <p>INTERIOR</p>	
ABOVE GRADE LOAD-BEARING WALL		
	<p>EXTERIOR</p> <p>W1 - 2 X 6 WOOD STUD EXT. WALL, N/A FRR</p> <p>EXTERIOR CLADDING VERTICAL STRAPPING 1/2" RIGID INSULATION W/ THERMALLY BROKEN CLIP SYSTEM AIR MEMBRANE TAPE W/ HIGH PERFORMANCE TAPE 1/2" EXTERIOR GRADE PLYWOOD SHEATHING WOOD STUDS @ 24" O.C. W/ BATT INSULATION (AS PER BCBC 9.23.10) (REFER TO ENERGY MODEL) VAPOUR BARRIER INTERIOR FINISH</p> <p>INTERIOR</p>	
INTERIOR PARTITION WALL		
	<p>P1 - 2 x 4 INTERIOR PARTITION</p> <p>1/2" GYPSUM BOARD 2" x 4" WOOD STUDS @ 16" O.C. (AS PER BCBC 9.23.10) 1/2" GYPSUM BOARD</p>	
	<p>P2 - 2 x 6 INTERIOR PARTITION</p> <p>1/2" GYPSUM BOARD 2" x 6" WOOD STUDS @ 16" O.C. (AS PER BCBC 9.23.10) 1/2" GYPSUM BOARD</p>	
FLOOR ASSEMBLIES		
	<p>F1 - SLAB ON GRADE FLOOR</p> <p>INTERIOR FLOOR FINISH CONC. SLAB (AS PER BCBC 9.16) UNDERSLAB VAPOUR RETARDER 2" RIGID INSULATION (REFER TO ENERGY MODEL) 6" DRAIN GRAVEL FILL FOR RADON PROOFING UNDISTURBED NATIVE SOIL</p>	
	<p>F1 - CRAWLSPACE FLOOR ASSEMBLY</p> <p>INTERIOR FLOOR FINISH PLYWOOD SHEATHING JOISTS @ 12" O.C. (AS PER 9.23.4.2) C/W CAVITY BATT INSULATION (REFER TO ENERGY MODEL) INSULATION NETTING (OR STRAPPING AS REQUIRED)</p> <p>CRAWLSPACE</p>	
	<p>F2 - 3016 mm TJI FLOOR ASSEMBLY, N/A FRR, 27 STC, 28 IC TABLE 9.10.3.1-8, F3e</p> <p>FLOORING 1/2" PLYWOOD SHEATHING 2 x 12" JOISTS @ 12" O.C. (AS PER BCBC 9.23.4.2) INTERIOR FINISH</p>	
	<p>F3 - CRAWLSPACE MUD SLAB</p> <p>2" CONC. MUD SLAB (AS PER BCBC 9.18) UNDERSLAB VAPOUR RETARDER 4" DRAIN GRAVEL FILL FOR RADON PROOFING UNDISTURBED NATIVE SOIL</p> <p>CRAWLSPACE</p>	
ROOF ASSEMBLIES		
	<p>R1 - WOOD MANUFACTURER WOOD TRUSS WARM ROOF ASSEMBLY</p> <p>ROOFING 1 1/2" RAINDRIP FURRING AIR MEMBRANE TAPE W/ HIGH PERFORMANCE TAPE 5/8" EXTERIOR GRADE PLYWOOD SHEATHING WOOD TRUSS (REF TO TRUSS MANUFACTURER FOR SPEC) BATT INSULATION (REFER TO ENERGY MODEL) CONT. VAPOUR PERMEABLE AWB (AIR BARRIER) 1 1/2" INTERIOR FURRING 1/2" GYPSUM BOARD</p> <p>EXTERIOR</p> <p>INTERIOR</p>	
	<p>R2- SBS TJI FLAT ROOF SYSTEM</p> <p>2-PLY SBS MEMBRANE 1/2" EXT. GRADE PLYWOOD SHEATHING 2" RIGID INSULATION, Min. 2% SLOPE TAPERED INSULATION ROOFING UNDERLAYMENT (AIR & VAPOUR PERMEABLE MEMBRANE) 3/4" EXT. GRADE PLYWOOD SHEATHING JOIST (REF TO TRUSS MANUFACTURER FOR SPEC) INSULATION (REFER TO ENERGY MODEL) VAPOUR MEMBRANE 1 1/2" WOOD STRAPPING 1/2" GYPSUM BOARD</p> <p>EXTERIOR</p> <p>INTERIOR</p>	

- ALL ASSEMBLIES ARE TO BE REVIEWED WITH THE CONTRACTOR AND COORDINATING PROFESSIONAL BEFORE CONSTRUCTION.
- ALL ASSEMBLIES ARE TO BE CHECKED WITH THE LATEST BUILDING STANDARDS AND MANUFACTURERS SPEC.
- INTERIOR AND EXTERIOR FINISHES ARE TO BE CHOSEN AND COORDINATED ON A CASE BY CASE BASIS.
- INSULATION VALUES ARE TO BE DICTATED BY THE CURRENT STEP-CODE REQUIREMENTS AND THE ENERGY MODEL PROVIDED BY THE ENERGY CONSULTANT.
- LOW CARBON AND HIGH EFFICIENCY PRODUCTS ARE RECOMMENDED.

ABBREVIATIONS

AC.	ACOUSTIC	GA.	GAUGE	RAD.	RADIUS
ADJ.	ADJUSTABLE	GB.	GRAB BAR	RB.	ROLLER BLINDS
ALT.	ALTERNATE	GL.	GLASS	RCP.	REFLECTED CEILING PLAN
ALUM.	ALUMINUM	GLULAM	GLUE-LAMINATED	RD.	ROOF DRAIN
ANOD.	ANODIZED	GR.	GRADE	REINF.	REINFORCED
APPROX.	APPROXIMATE	GWB.	GYPSUM WALL BOARD	REQ'D.	REQUIRED
AVM.	AIR/VAPOUR/MOISTURE	GWB.WR.	GYPSUM WALL BOARD - WATER RESISTANT	REV.	REVISION
BD.	BOARD	HCW.	HOLLOW CORE WOOD	RTU.	ROOF TOP UNIT
BLDG.	BUILDING	HDR.	HEADER	RM.	ROOM
BLK.	BLOCK	HD WD.	HARD WOOD	RO.	ROUGH OPENING
BLKG.	BLOCKING	HHS.	HAND HYGIENE SINK	RWDP.	RAIN WATER DOWN PIPE
BM.	BEAM	HM.	HOLLOW METAL	RWL.	RAIN WATER LEADER
BOT.	BOTTOM	HORZ.	HORIZONTAL	SAP.	SUSPENDED ACOUSTIC PANEL
		HSS.	HOLLOW STRUCTURAL SECTION	SCW.	SOLID CORE WOOD
		HTR.	HEATER	SD.	SOAP DISPENSER
		HWT.	HOT WATER TANK	SAND.	SANITARY DISPOSAL
CB.	CATCH BASIN	ID.	INSIDE DIAMETER	SEC.G.	SECURITY GRILLE
CG.	CORNER GUARD	IF.	INSIDE FACE	SECT.	SECTION
CP.	CAST IN PLACE	INSUL.	INSULATION	SG.	SEMI-GLOSS
CJ.	CONTROL JOINT	INT.	INTERIOR	SHTG.	SHEATHING
CL.	CENTER LINE	IT.	JOINT	SIM.	SIMILAR
CLG.	CEILING	JT.	JOINT	SNW.G.	SNOW GUARD
CMU.	CONCRETE MASONRY UNIT	LAV.	LAVATORY	SOG.	SLAB ON GRADE
COL.	COLUMN	LG.	LONG	SQ.	SOUND TRANSMISSION CLASS
COMP.	COMPACTED	M.LAV.	MEN'S LAVATORY	SPEC.	SPECIFICATION
CONC.	CONCRETE	M.M.	MATERIAL	SQ.	SQUARE
CONT.	CONTINUOUS	MDF.	MEDIUM DENSITY FIBREBOARD	SS.	STAINLESS STEEL
CORR.	CORRIDOR	MECH.	MECHANICAL	STD.	STANDARD
COV.	COVER	MEZZ.	MEZZANINE	STRUCT.	STRUCTURAL
C/W.	COMPLETE WITH	MH.	MANHOLE	SUSP.	SUSPENDED
CS/CI.	CONTRACTOR SUPPLY-CONTRACTOR INSTALL	MNL.	MINIMUM	SYM.	SYMMETRICAL
		MISC.	MISCELLANEOUS	T&G.	TONGUE AND GROOVE
DEG.	DEGREE	MO.	MASONRY OPENING	TBO.	TO BE DETERMINED
DF.	DRINKING FOUNTAIN	MR.	MOISTURE RESISTANT	TEMP.	TEMPERATURE
DIA.	DIAMETER	MS.	MOP SINK	T/O.	TOP OF
DIAG.	DIAGONAL	NIC.	NOT IN CONTRACT	TP.	TOILET/WASHROOM PARTITIONS
DN.	DOWN	NO.	NOT TO SCALE	TPD.	TOILET PAPER DISPENSER
DRY.	DRYER (CLOTHES)	NTS.	NOT TO SCALE	TRANS.	TRANSFORMER
DS.	DOWNSPOUT	O.C.	ON CENTER	TS.	TRACK SYSTEM
DWG(S).	DRAWINGS	O.D.	OUTSIDE DIAMETER	TV.	TELEVISION
EA.	EACH	O.S.F.	OPPOSITE	TYP.	TYPICAL
EAF.	EACH FACE	OSB.	ORIENTED STRAND BOARD	U/C.	UNDER COUNTER
ELEC.	ELECTRICAL	OSI/OI.	OWNER SUPPLY-OWNER INSTALL	U.N.O.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATION	OS/CI.	OWNER SUPPLY-CONTRACTOR INSTALL	U/S.	UNDERSIDE
EQ.	EQUAL	OS/VI.	OWNER SUPPLY-VENTILATOR INSTALL	VB.	VAPOUR BARRIER
ES.	EXPOSED STRUCTURE	O/SJ.	OWNER SUPPLY-VOIDER INSTALL	VERT.	VERTICAL
EXIST.	EXISTING	OWS.	OPEN WEB STEEL JOIST	VEST.	VESTIBULE
EXP.	EXPOSED	PAT.	PATIENT	VC.	VERTICAL
EXP.JT.	EXPANSION JOINT	PERIM.	PERIMETER	VJ.	V-JOINT
EXPN.	EXPANSION	PG.	PLATE GLASS	VOL.	VOLUME
EXTR.	EXTERIOR	PJ.	PARALAM JOIST	W/.	WITH
EXT.GR.	EXTERIOR GRADE	PLY.	PLYWOOD	WC.	WATER CLOSET
FOC.	FACE OF CURB	P.LAM.	PLASTIC LAMINATE	WD.	WOOD
F.	FILM	POLY.	POLYETHYLENE	WF.	WALL FOUNTAIN
FD.	FLOOR DRAIN	PP.	PAIR	WWM.	WELDED WIRE MESH
FDNL.	FOUNDATION	PR.	PARALAM STEEL CONNECTION		
FE.	FIRE EXTINGUISHER	PSF.	PRESSED STEEL FRAME		
FEC.	FIRE EXTINGUISHER CABINET	PT.	PRESSURE TREATED		
FHC.	FIRE HOSE CABINET	PTD.	PAPER TOWEL DISPENSER		
FHC.	FIRE HOSE CABINET	PROJ.	PROJECTION		
FIN.GD.	FINISHED GRADE	PVC.	POLYVINYL CHLORIDE		
FLR.	FLOOR	PVCW.	POLYVINYL CHLORIDE WALLCOVERING		
FP.	FIRE PLACE				
FRP.	FIBER REINFORCED PLASTIC				
FRS.	FIRE SHUTTER				
FTG.	FOOTING				
FURR.	FURRING				
F/O.	FACE OF				

GRAPHIC LEGEND

	View Name	DRAWING REFERENCE		DEMOLITION KEYNOTES		EARTH
	View Scale			CONSTRUCTION KEYNOTES		GRAVEL
	GRID LINES			WALL TAG		INSULATION - BATT
	FLOOR/ROOF TAG			FLOOR/ROOF TAG		INSULATION - RIGID
	WINDOW TAG			WINDOW TAG		INSULATION - SEMI-RIGID
	DOOR TAG			DOOR TAG		INSULATION - SPRAY FOAM
	ROOM TAG			ROOM TAG		LANDSCAPING
	NORTH ARROW			EXISTING WALL		MASONRY
	SECTION REFERENCE			EXISTING WALL TO BE DEMOLISHED		PLYWOOD
	HEIGHT ELEVATION REFERENCE			NEW WALL		SAND/GWB
	INTERIOR/EXTERIOR ELEVATION REFERENCE			FIRE SEPARATION		STEEL
				HOARDING		WOOD
				CONCRETE		
				CONCRETE BLOCK		

- THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS, FINISHES SCHEDULE AND OWNERS SUPPLY SCHEDULE.
- CONFIRM ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ALL LABOUR, MATERIALS, AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF THE CURRENT BRITISH COLUMBIA BUILDING CODE EDITION (BCBC) AND ALL OTHER APPLICABLE CODES, STANDARDS AND BY-LAWS.
- BUILDING CODE, SAFETY STANDARDS, AND REGULATORY STATUTE REFERENCES ON DRAWINGS ARE FOR AUTHORITY REVIEW PURPOSES ONLY. THE PRESENCE OF THE FOREMENTIONED NOTES DOES NOT RELEASE THE CONTRACTOR AND ALL OTHERS INVOLVED IN THE CONSTRUCTION OF THE PROJECT FROM THEIR LEGAL AND STATUTORY RESPONSIBILITY TO CONFORM TO THE LAW OF THE LAND IN CONSTRUCTION AND THE CONSTRUCTION OF THE BUILDING.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF STUDS, OR TO GRIDLINE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MUST BE FIELD MEASURED ON SITE AND SHOWN ON SHOP DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED PRIOR TO CARRYING OUT WORK.
- ALL AREAS ADJACENT TO AREA OF WORK ARE TO BE CONSIDERED OCCUPIED. WORK THAT IMPAIRS CORRIDOR ACCESS IS TO BE COORDINATED IN ADVANCE WITH OWNER.
- PATCH AND MAKE GOOD ALL DAMAGED FINISHES & STRUCTURE (WALL, FLOOR, & CEILING) WHICH WERE A RESULT FROM DEMOLITION OR CONSTRUCTION.
- COORDINATE WITH OWNER THE REMOVAL OF ALL EQUIPMENTS, AND SUPPLIES PRIOR TO CONSTRUCTION.
- IF CONTRACTOR FINDS ASBESTOS OR OTHER HAZARDOUS MATERIALS IN THE COURSE OF THE WORK, STOP WORK AND IMMEDIATELY REPORT TO CONSULTANT.
- PROVIDE SOLID BLOCKING AS REQUIRED IN PARTITION WALLS TO SUPPORT SHELVING, HANGER RODS, MILLWORK, SINKS, ACCESSORIES AND OTHER ITEMS THAT ARE PART OF THIS CONTRACT OR PROVIDED BY OTHERS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE SPECIFICATIONS, INCLUDING COLOUR AND FINISHES OF EQUIPMENT AND COVER PLATES.
- MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THESE ARCHITECTURAL DRAWINGS ARE FOR COORDINATION PURPOSES. REFER TO RESPECTIVE DISCIPLINES FOR COMPLETE LAYOUTS.
- FLOORS ARE TO BE MADE LEVEL PRIOR TO ANY FLOORING INSTALLATION.
- ALL NEW AND EXISTING PENETRATIONS AND WALLS ARE TO BE SEALED TO PREVENT AIR LEAKAGE.

GENERAL DEMOLITION NOTES

- DEMOLISH, SALVAGE, REUSE AND/OR DISPOSE OF PRODUCTS AS INDICATED ON DRAWINGS.
- MINIMIZE TO THE GREATEST EXTENT POSSIBLE, DAMAGE TO ADJACENT SURFACES DURING DEMOLITION.
- ALL CUTTING AND PATCHING WORK SHALL BE DONE IN A MANNER TO RECEIVE NEW WORK AND FINISHES.
- SALVAGED MATERIALS BECOME THE PROPERTY OF THE OWNER UNLESS NOTED OTHERWISE.
- PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED IN THE PERFORMANCE OF THE WORK. FIRE-RESISTANCE RATING SHALL MATCH EXISTING.
- CONFIRM LOCATIONS OF ALL MECHANICAL AND ELECTRICAL SERVICES PRIOR TO DEMOLITION. MECHANICAL AND ELECTRICAL ELEMENTS SERVING OTHER FLOORS ARE TO REMAIN UNLESS NOTED OTHERWISE ON MECHANICAL AND ELECTRICAL DRAWINGS.
- TERMINATE AND CAP OFF ALL PROJECTING MECHANICAL, ELECTRICAL PLUMBING AND COMMUNICATIONS SYSTEMS INDICATED TO BE REMOVED. ENGINEERS DRAWINGS GOVERN THE EXTENT AND METHOD OF REMOVAL, CAPPING OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SYSTEMS.
- LEVEL AND PATCH DAMAGE TO SUBFLOORS CAUSED BY REMOVAL OF FLOOR FINISHES.

MEMBRANE LINE TYPES

	VAPOUR BARRIER
	AIR AND WEATHER BARRIER
	SPRAY APPLIED DAMPPROOFING MEMBRANE
	TORCH ON MEMBRANE
	RADON PROOF MEMBRANE

PROJECT SUMMARY

Building Footprint	Building Height	Building Classification	Sprinklering
Total: 71.5 m ²	Total: 6.75m	Type: GROUP C	Applicable: X

CODE REFERENCE	CODE SENTENCE	APPLICABLE
13.3.3. Application of Part 9	1) Part 9 of Division B applies to all buildings describe in Article 1.1.1.1. of 3 storeys or less in building height, having a building area not exceeding 600 sq.m and used for major occupancies classified as a) Group C, residential occupancies (see Note A-9.1.1.1.(1) or Division B).	
13.3.4. Building Size Determination	1) Where a firewall divides a building, each portion of the building so divided shall be considered as separate building except when this requirement is specifically modified in other parts of this Code. (See Note A - 13.3.4(1)) 2) Except as permitted in Sentence (3), where portions of a building are completely separated by a vertical fire separation that has a fire-resistance of not less than 1h and extends through all storeys and service spaces of the separated portions, each separated portion is permitted to be considered as a separate building for the purpose of determining building height, provided a) each separated portion is not more than 4 storeys in building height and is used only for assembly, residential, and business and personal service occupancies, b) the unobstructed path of travel for a firefighter from the nearest street to one entrance of each separated portion is not more than 45 min. (see Note A-13.3.4.(2)) 3) The vertical fire separation referred to in Sentence (2) may terminate at the floor assembly immediately above a basement provided the basement conforms to Article 3.2.1.2. of Division B	
9.7. Windows, Doors and Skylight		
9.7.2.1 Entrance Doors	1) A door shall be provided at each entrance to a dwelling unit. 2) Main entrance doors to dwelling shall be provided with a) a door viewer or transparent glazing in the door, or b) sidelight	
9.8. Stairs, Ramps, Handrails and Guards		
9.8.1.2. Stairs, Ramps, Handrails and Guards in Garages	1) Where stairs, ramps, landings, handrails or guards are installed in garages that serve a single dwelling unit, the garage shall be considered to be part of the dwelling unit and the requirements for stairs, ramps, landings, handrails and guards within dwelling units shall apply	
9.8.1.3. Exit Stairs, Ramps and Landings	1) Where a stair, ramp or landing forms part of an exit, the appropriate requirements in Section 9.9. and 9.10. shall also apply.	
9.8.2.1 Stair Width	1) Except as provided in Sentence (2), required exit stairs and public stairs serving buildings of residential occupancy shall have a width of not less than 900mm. 2) Exits stairs serving a single dwelling units shall have a width of not less than 860mm. 3) Required exit stairs and public stairs serving buildings of other than residential occupancy shall have width less than the greater of a) 900mm, or b) 8mm per person based on occupant load limits specified in Table 3.1.17.1. 4) At least one stair between each floor within a dwelling unit, and exterior stairs serving a single dwelling unit except required exit stairs, shall have a width of not less than 860mm.	
9.8.2.2. Height over Stairs	1) clear height over stairs shall not be less than 2050mm. 2) The clear height over stairs serving a single dwelling unit shall not be less than 1950mm	
9.8.3.2. Minimum Number of Risers	1) Except for stairs within a dwelling unit, at least 3 risers shall be provided in interior flights.	
9.8.3.3. Maximum Height of Stairs	1) Vertical height of any flight of stairs shall not exceed 3.7m.	
9.8.4.1. Dimensions for Risers	Stair Type Max. Min. Private 200 mm 125 mm	
9.8.4.2. Dimensions for Treads	Stair Type Max. Min. Private 355 mm 255 mm	
9.8.4.8. Tread Nosing	1) Except as permitted by Sentence (2), the top of the nosings of stair treads shall have a rounded or beveled edge extending not less than 6 mm and not more than 14 mm measured horizontally from the front of the nosing. 2) if resilient material is used to cover the nosing of a stair tread, the minimum extension of the rounded or beveled edge required by Sentence (1) is permitted to be reduced to 3mm.	
9.8.5.2. Ramp Width	1) Ramps shall be not less than 1100mm wide. 2) Ramps serving a single dwelling unit shall be not less than 860 mm wide.	
9.8.5.3. Height over Ramps	1) The clear height over ramps shall be not less than 2050mm.	
9.8.5.4. Ramps Slope	1) The slope of ramps shall be not more than a) 1 in 10 for exterior ramps b) 1 in 10 for ramps serving residential occupancies c) 1 in 6 for industrial occupancies d) 1 in 8 for all other occupancies	
9.8.5.5. Maximum Rise	1) Where the slope of the ramp is greater than 1 in 12, the maximum rise between floors or landings shall be 1500 mm.	

CODE REFERENCE	CODE SENTENCE	APPLICABLE
9.8.6.2. Required Landings	1) except as provided in Sentences (2) to (4) and Sentence 9.9.6.6.(2), a landing shall be provided a) at the top and bottom of each flight of interior and exterior stairs, including stairs in garages, b) at the top and bottom of a ramp with a slope greater than 1 in 50, c) where a doorway opens onto a stair or ramp d) where a ramp opens onto a stair, and e) where a stair opens onto a ramp. 2) Where a door at the top of a stair within a dwelling unit swings away from the stair, no landing is required between the doorway and the stair. 3) A landing may be omitted at top of an exterior flight serving a secondary entrance to a single dwelling unit, provided a) the stair does not contain more than 3 risers, b) the principal door is a sliding door or swings away from the stair, and c) only a storm or screen door, if any, swings over the stair and is equipped with hardware to hold it open. 4) A landing may be omitted at the bottom of an exterior stair or ramp provided there is no obstruction, such as a gate or door, within the lesser of the width of the stair or ramp or a) 900 mm for stairs or ramps serving a single dwelling unit, and b) 1100 mm for stairs or ramps not serving a single dwelling unit.	
9.8.6.3. Dimensions of Landings	1) Except as provided in Sentences (2) to (7), landing shall be at least as wide and long as the width of the stair or ramp in which they occur.	
9.8.6.4. Height over Landings	1) Except as permitted by Sentence (2), the clear height over landings shall be not less than 2050mm. 2) The clear height over landings serving a single dwelling unit be not less than 1950mm.	
9.9.1.3. Occupant Load	2) The occupant load for dwelling units shall be based on 2 persons per bedroom or sleeping area.	
9.9.10.1. Egress Windows or Doors for Bedrooms	1) Except where the suite is sprinklered, each bedroom or combination bedroom shall have at least one outside window or exterior door operable from the inside without the use of keys, tools or special knowledge and without the removal of sashes or hardware. 2) The window referred to in Sentence (1) shall a) provide an unobstructed opening of not less than 0.35 sq.m in area with no dimension less than 380mm b) maintain the required opening during an emergency without the need of additional support.	
9.10. Fire Protection		
9.10.6.2. Heavy Timber Construction	1) Heavy timber construction shall be considered to have a 45 min fire-resistance rating when it is constructed in accordance with the requirements for heavy timber construction in Article 3.1.4.7.	
9.10.8.10. Application to Houses	1) Table 9.10.8.1. does not apply to a) a dwelling unit that has no other dwelling unit above or below it, c) a dwelling unit that is not above or below another major occupancy	
9.10.13.1. Closures	Required Fire Resistance Rating of Fire Separation Minimum Fire-Protection Rating of Closure 30 or 45 min 20 min 1 hr 45 min 1.5 hr 1 hr	
9.10.13.2. Solid Core Wood Door as Closure	1) A 45mm thick solid core wood door is permitted to be used where a minimum fire-protection rating of 20 min is permitted or between a public corridor and a suite provided door conforms CAN/ULC Ratings 2) Doors described in Sentence (1) shall have not more than 6mm clearance beneath and not more than 3mm at the sides and top.	
9.10.15.3. Limiting Distance and Fire Department Responses	1) Except for the purposes of applying 9.10.15.2. (2), 9.10.15.4 (3) and 9.10.15.5 (13), a limiting distance equal to half the actual limiting distance shall be used as input to the requirements of this Subsection, where a) the time from receipt of notification of a fire by the fire department until the first fire department vehicle arrives at the building exceeds in 10 min in 10% or more of all calls to the building b) any storey in the building is not sprinklered.	
Table 9.10.15.4. Glazed Openings in Exposing Building Face (For Houses)	North Elevation >40 sq.m Limiting Distance: >4.5m % of Glazed Openings: 32% East Elevation >40 sq.m Limiting Distance: 1.5m % of Glazed Openings: 8% South Elevation >40 sq.m Limiting Distance: >4.5m % of Glazed Openings: 32% West Elevation >40 sq.m Limiting Distance: 1.5m % of Glazed Openings: 8%	

TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

SHEET
CODE REVIEW & BYLAW REVIEW

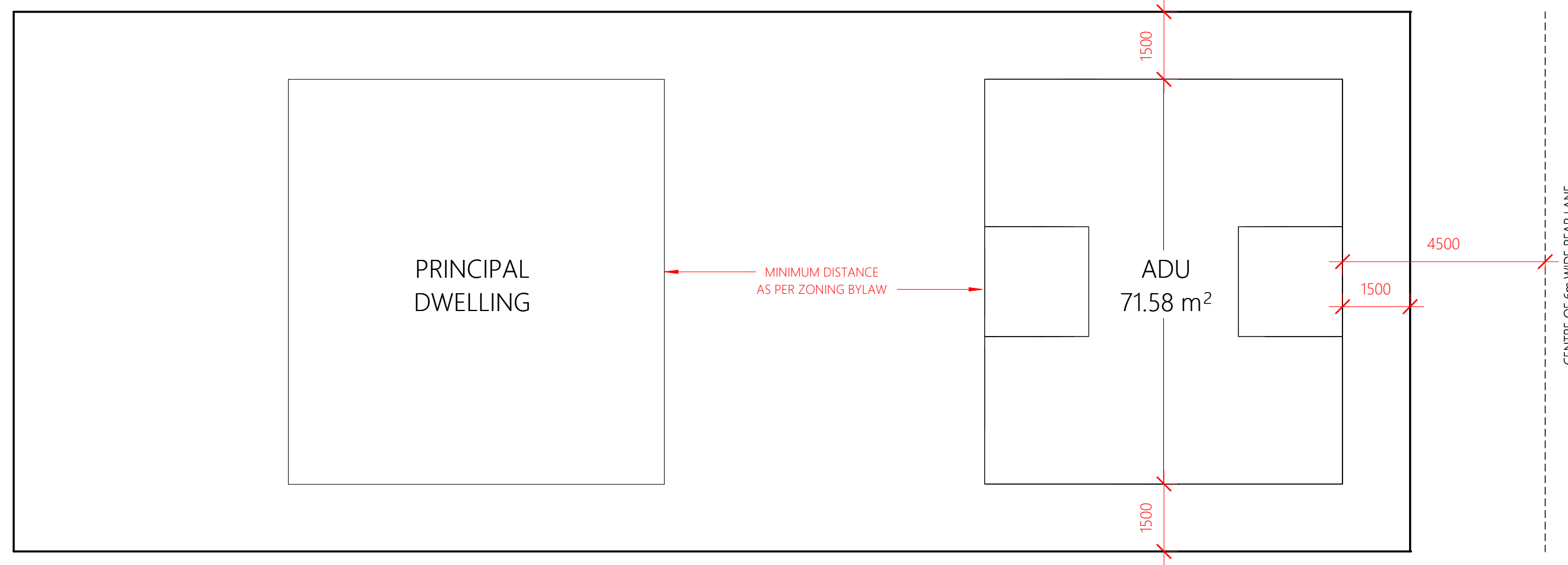
A002

NOTE: REFER TO CURRENT LOCAL BYLAWS FOR ALL MINIMUM BOUNDARY OFFSETS

2 & 3 BEDROOM CONFIGURATION WITH OPTIONAL DORMER ON 12 METRE WIDE LOT USED FOR CALCULATION

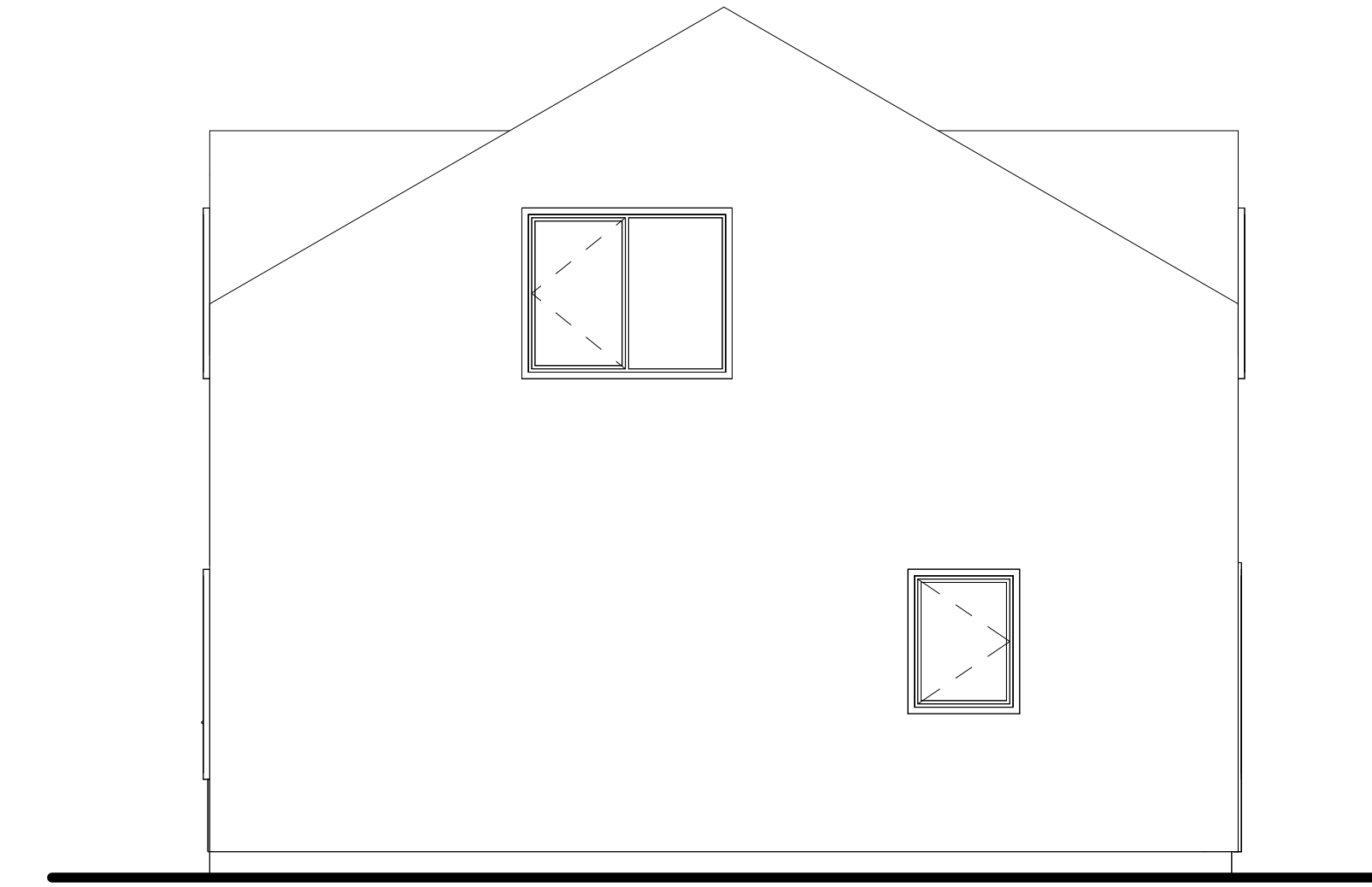
INDIVIDUAL UNPROTECTED OPENING SIZES AND MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS DETERMINED BY LOCATION ON SITE AND LIMITING DISTANCES

REFER TO BCBC TABLES 9.10.14.4.-A, 9.10.14.4.-B, 9.10.15.4.



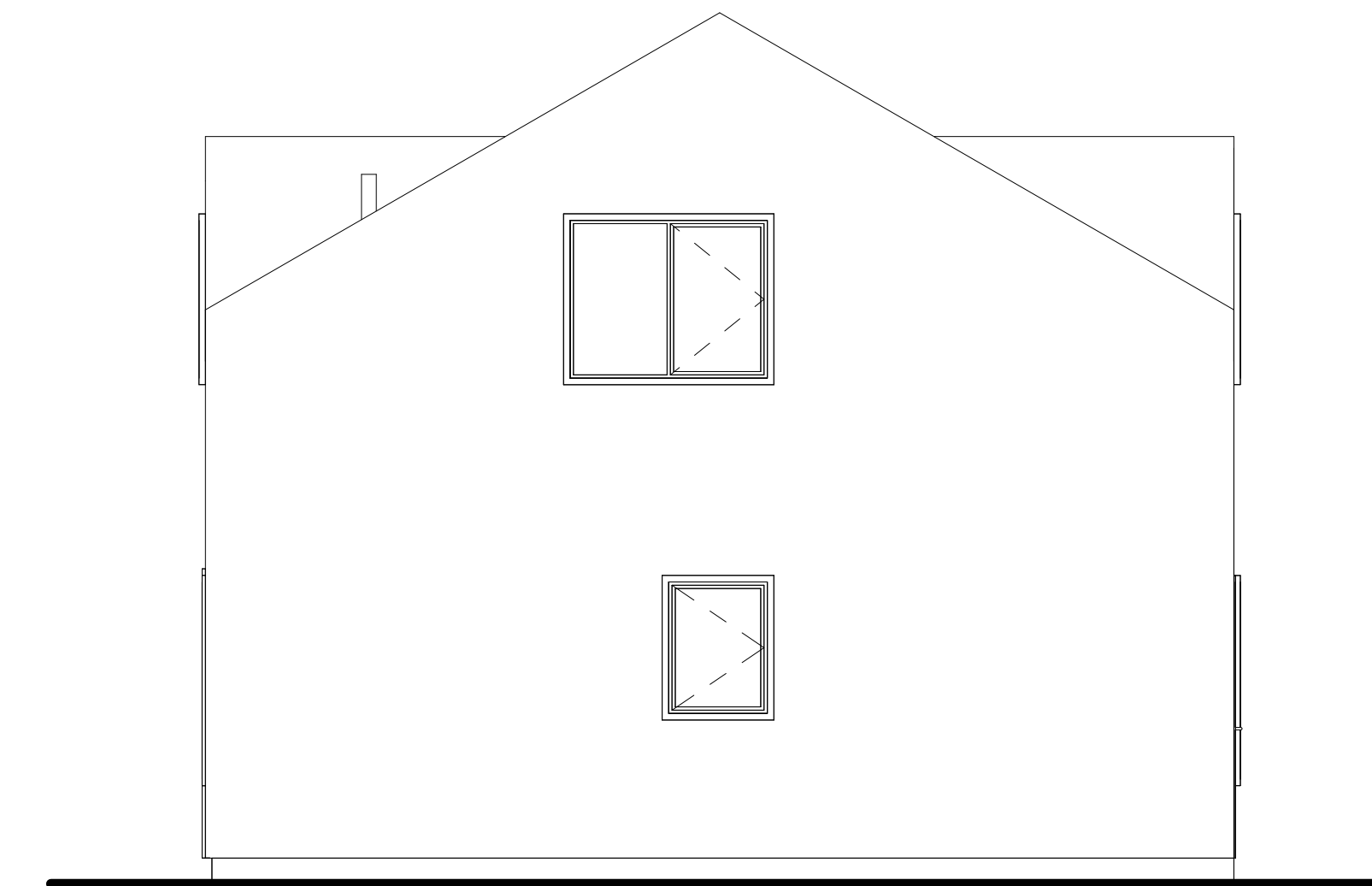
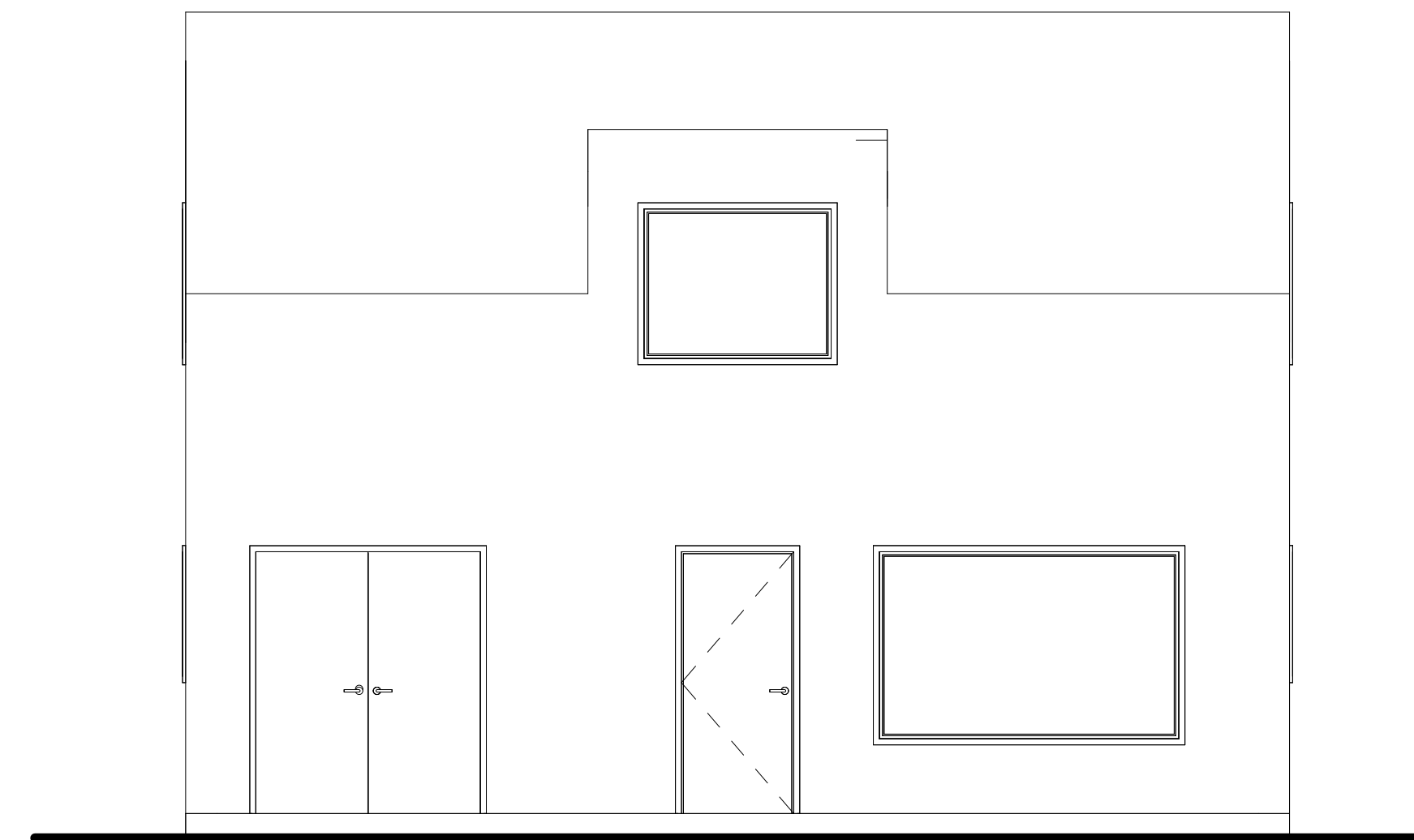
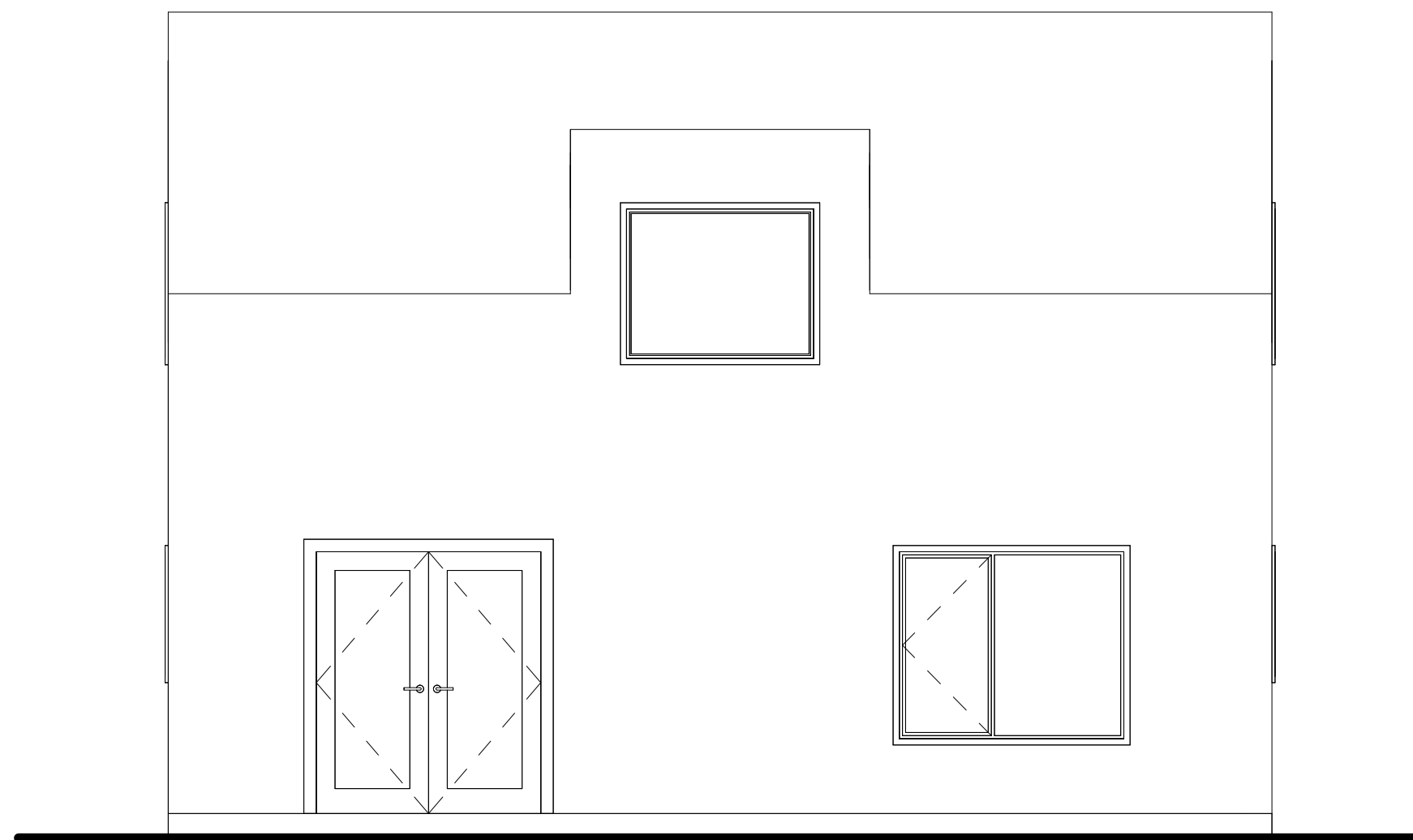
EXPOSED BUILDING FACE CONSTRUCTION

Table 9.10.15.4. Glazed Openings in Exposed Building Face (For Houses)	
NORTH:	Max area: 40 m ² (actual: ~38.0 m ²) Limiting distance: 4 m (actual: >4.5 m) Area of allowed unprotected openings: 32% (ACTUAL: 23.7%)
SOUTH:	Max area: 40 m ² (actual: ~39.8 m ²) Limiting distance: 4m (actual: >4.5 m) Area of allowed unprotected openings: 32% (ACTUAL: 32%)
EAST:	Max area: 40 m ² (actual: ~39.8 m ²) Limiting distance: 1.5 m (actual: 1.5 m) Area of allowed unprotected openings: 8% (ACTUAL: 6.5%)
WEST:	Max area: 40 m ² (actual: ~39.8 m ²) Limiting distance: 1.5 m (actual: 1.5 m) Area of allowed unprotected openings: 8% (ACTUAL: 6.5%)



1 SITE PLAN LIMITING DISTANCE
1: 100

2 EAST ELEVATION - EXPOSED BUILDING FACE
1: 50
TOTAL AREA: 39.8m²
TOTAL UNPROTECTED OPENING: 2.6m²
6.5%



3 NORTH ELEVATION - EXPOSED BUILDING FACE
1: 50

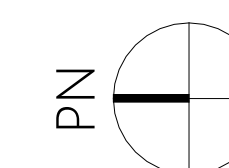
TOTAL AREA: 38m²
TOTAL UNPROTECTED OPENING: 9.0m²
23.7%

4 SOUTH ELEVATION - EXPOSED BUILDING FACE
1: 50

TOTAL AREA: 38m²
TOTAL UNPROTECTED OPENING: 11.9m²
32%

5 WEST ELEVATION - EXPOSED BUILDING FACE
1: 50

TOTAL AREA: 39.8m²
TOTAL UNPROTECTED OPENING: 2.6m²
6.5%



TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

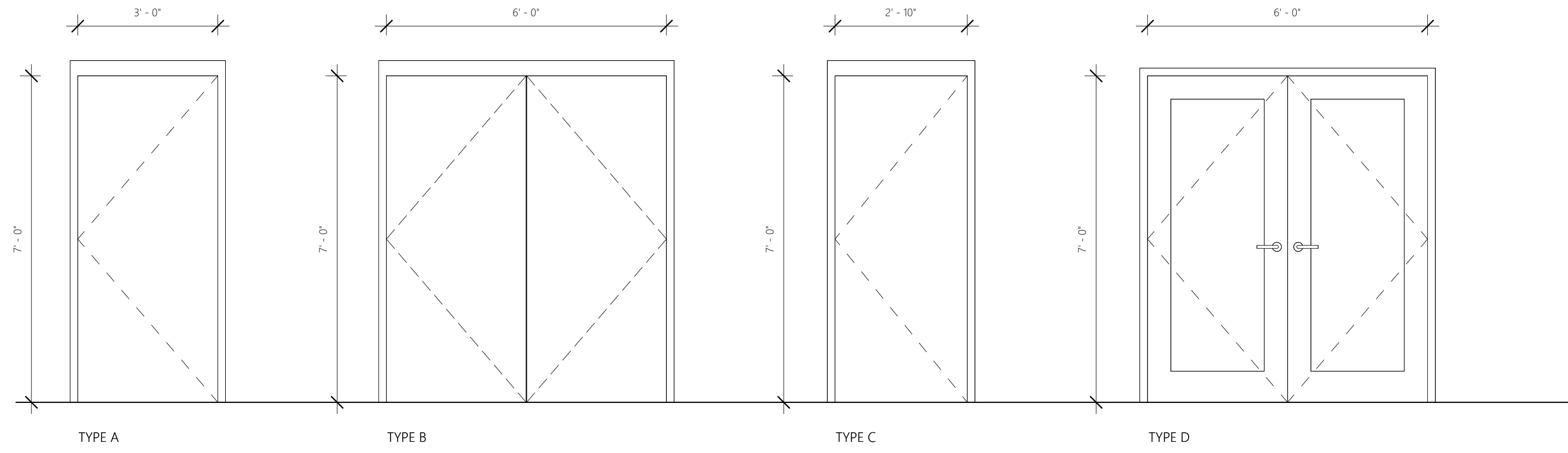
DATE
2024-07-15

SHEET
EXPOSED BUILDING FACE

A003

2024/07/15 11:45 AM

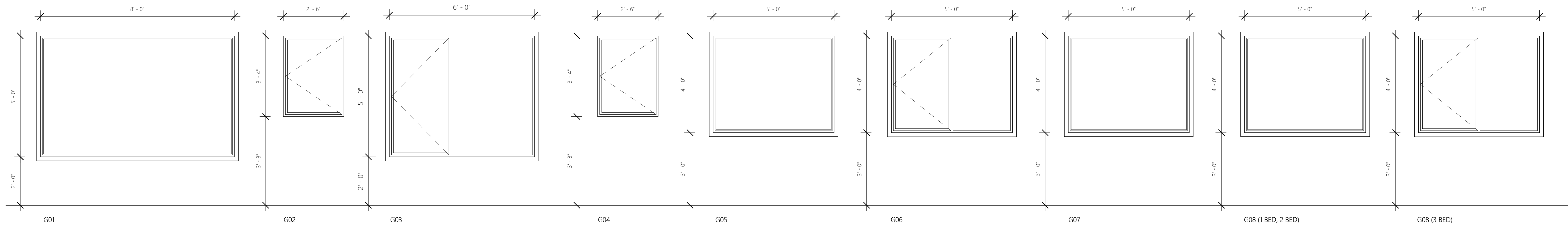
DOOR SCHEDULE - COMMON					
Level	Mark	Type Mark	Height	Width	Comments
GROUND FLOOR	D01	A	7'-0"	3'-0"	
GROUND FLOOR	D02	B	7'-0"	6'-0"	
GROUND FLOOR	D03	C	7'-0"	2'-10"	
GROUND FLOOR	D04	C	7'-0"	2'-10"	
GROUND FLOOR	D05	D	7'-0"	6'-0"	
SECOND FLOOR	D06	C	7'-0"	2'-10"	OPTIONAL ON 2 & 3 BED
SECOND FLOOR	D07	C	7'-0"	2'-10"	2 & 3 BED ONLY
SECOND FLOOR	D08	C	7'-0"	2'-10"	3 BED ONLY



ABBREVIATION LEGEND		GENERAL DOOR NOTES	
AL	ALUMINUM	1.	VERIFY FRAME OPENING WITH MANUFACTURER AND FIELD VERIFY ALL ROUGH OPENINGS
CA	CLEAR ANODIZED	2.	GLAZING SHALL MEET STANDARDS AS SET FORTH IN BCBC 2024
FGW	FIBREGLASS CLAD WOOD	3.	VERIFY ALL DOOR HARDWARE AND DOOR HANDLINGS PRIOR TO ORDERING ALL DOOR HARDWARE.
GL	GLAZING	4.	CONTRACTOR SHALL VERIFY THE NUMBER OF REQUIRED DOORS PRIOR TO ORDERING.
HCW	HOLLOW CORE WOOD		
HM	HOLLOW METAL		
IHM	INSULATED HOLLOW METAL		
NRP	NON REMOVABLE PIN		
PF	PRE-FINISHED		
PGW	PAINT GRADE WOOD		
PM	PRE-MANUFACTURED		
PM M	PRE-MANUFACTURED METAL		
PM R	PRE-MANUFACTURED RUBBER		
PSF	PRESSED STEEL FRAME		
PT	PAINT FINISH		
SCW	SOLID CORE WOOD		
S.I.D.	SEE INTERIOR DESIGN DRAWINGS		
ST	STEEL		
SW	SOLID WOOD		
TG	TEMPERED GLASS		
TSG	TEMPERED SAFETY GLASS		
WG	WIRED GLASS		
VYL	VINYL		
TBM	THERMALLY BROKEN METAL		

DOOR ELEVATIONS
1:25

WINDOW SCHEDULE				
Type Mark	Sill Height	Height	Width	Comments
G01	2'-0"	60"	96"	
G02	3'-8"	40"	30"	
G03	2'-0"	60"	72"	
G04	3'-8"	40"	30"	
G05	3'-0"	48"	60"	OPTIONAL ON 1,2,3 BED
G06	3'-0"	48"	60"	2 & 3 BED ONLY
G07	3'-0"	48"	60"	2 & 3 BED ONLY
G08	3'-0"	48"	60"	1 & 2 BED ONLY
G08.2	3'-0"	48"	60"	3 BED ONLY



WINDOW ELEVATIONS
1:25

TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

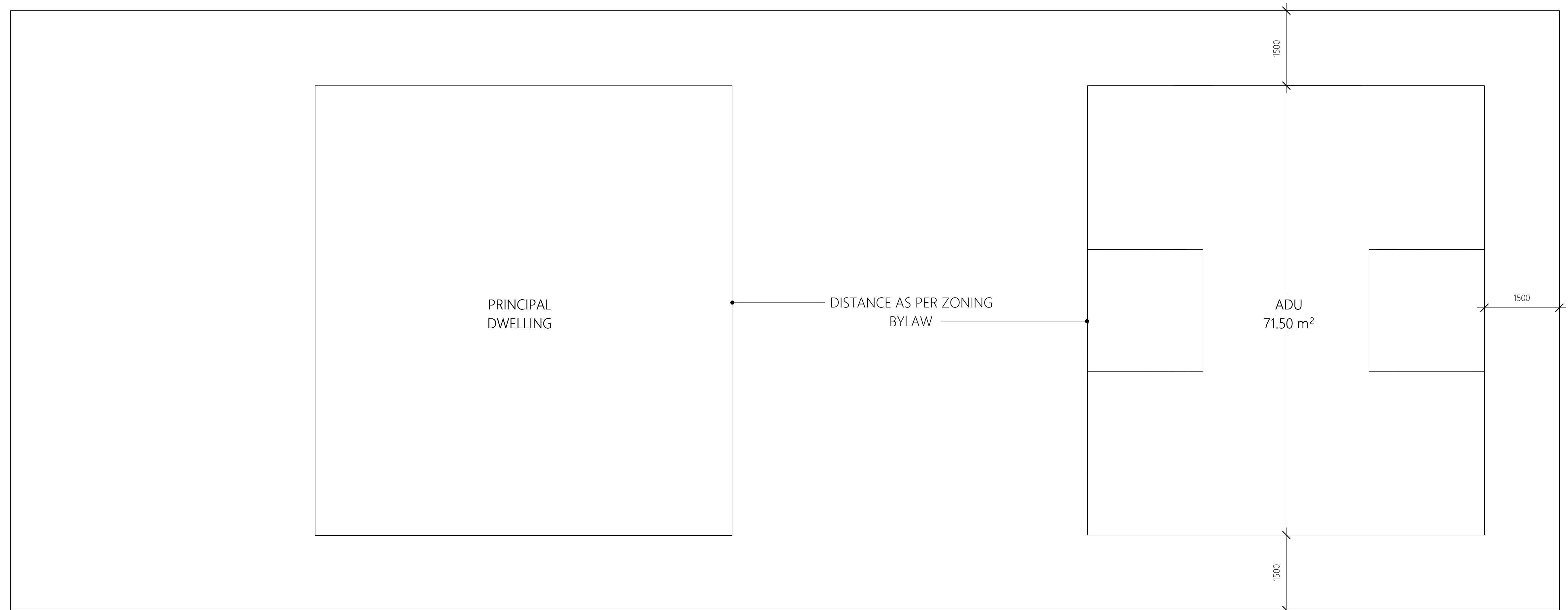
SHEET
DOOR AND WINDOW
SCHEDULE

A004

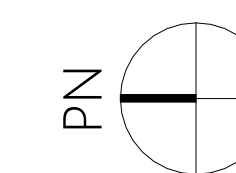
NOTE:

REFER TO CURRENT LOCAL BYLAWS FOR ALL MINIMUM BOUNDARY OFFSETS

COMMON 12 METRE WIDE INTERIOR RECTANGLE LOT SHOWN AS EXAMPLE ONLY



1 SITE PLAN EXAMPLE
1:50



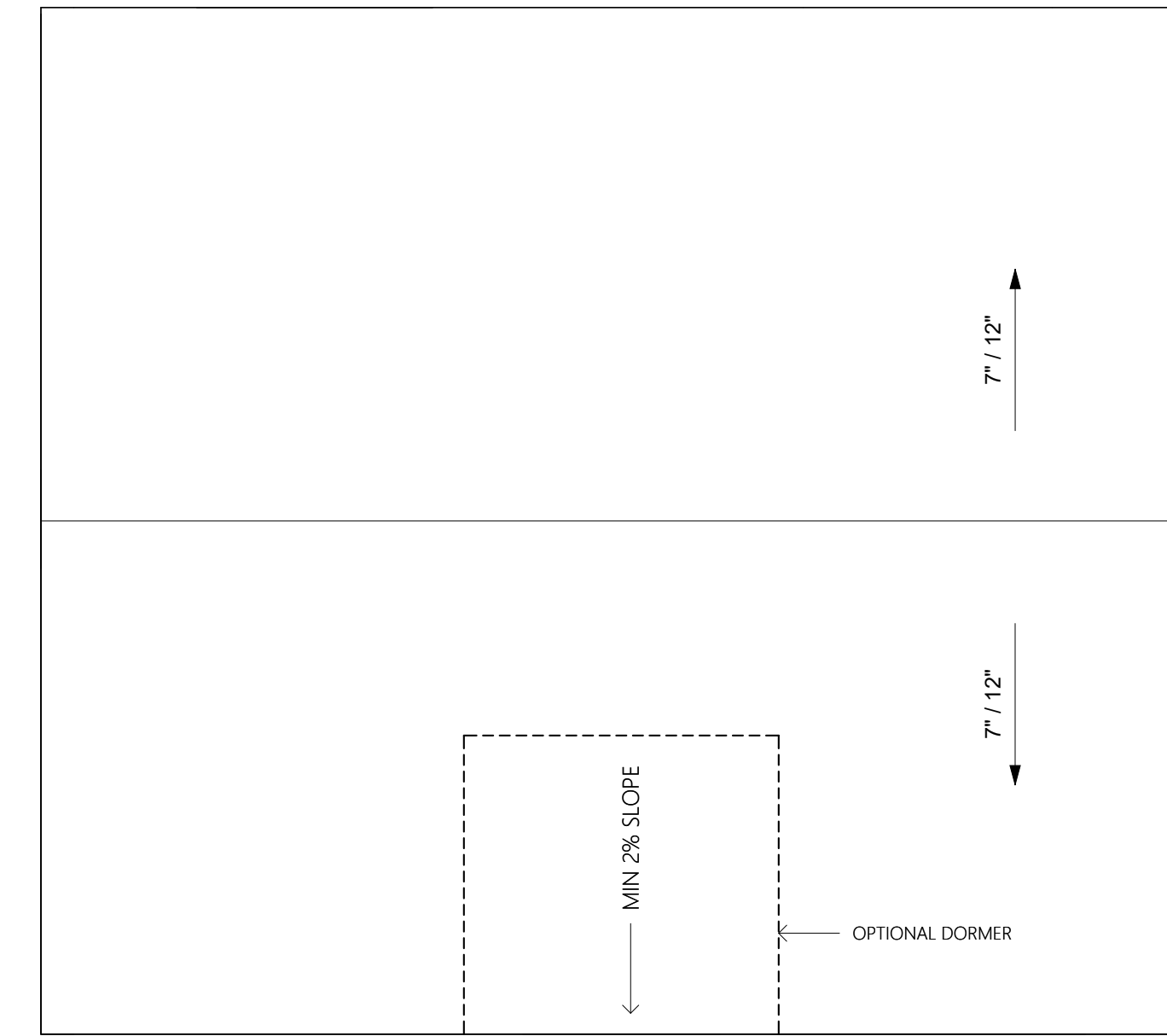
TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

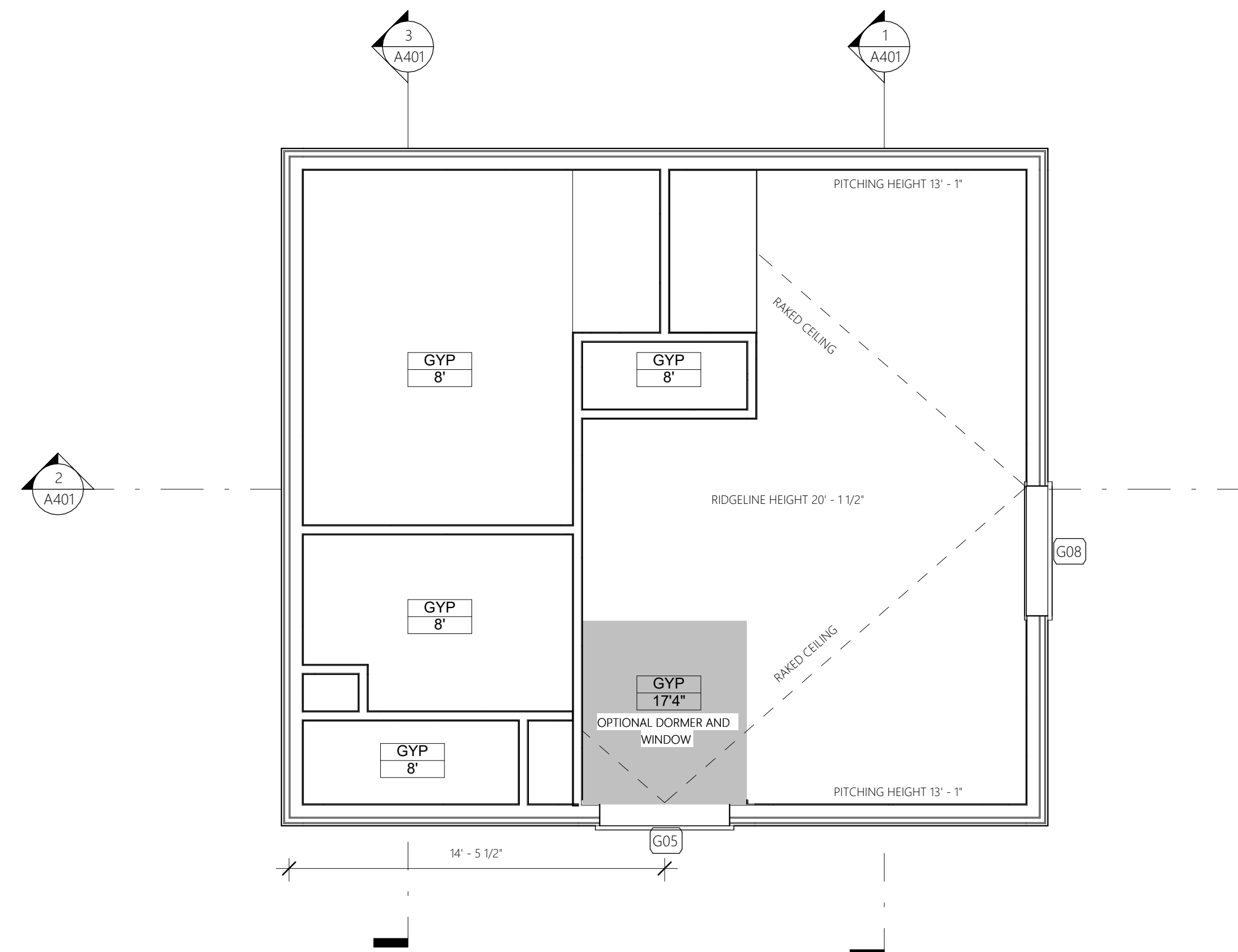
DATE
2024-07-15

SHEET
SITE PLAN

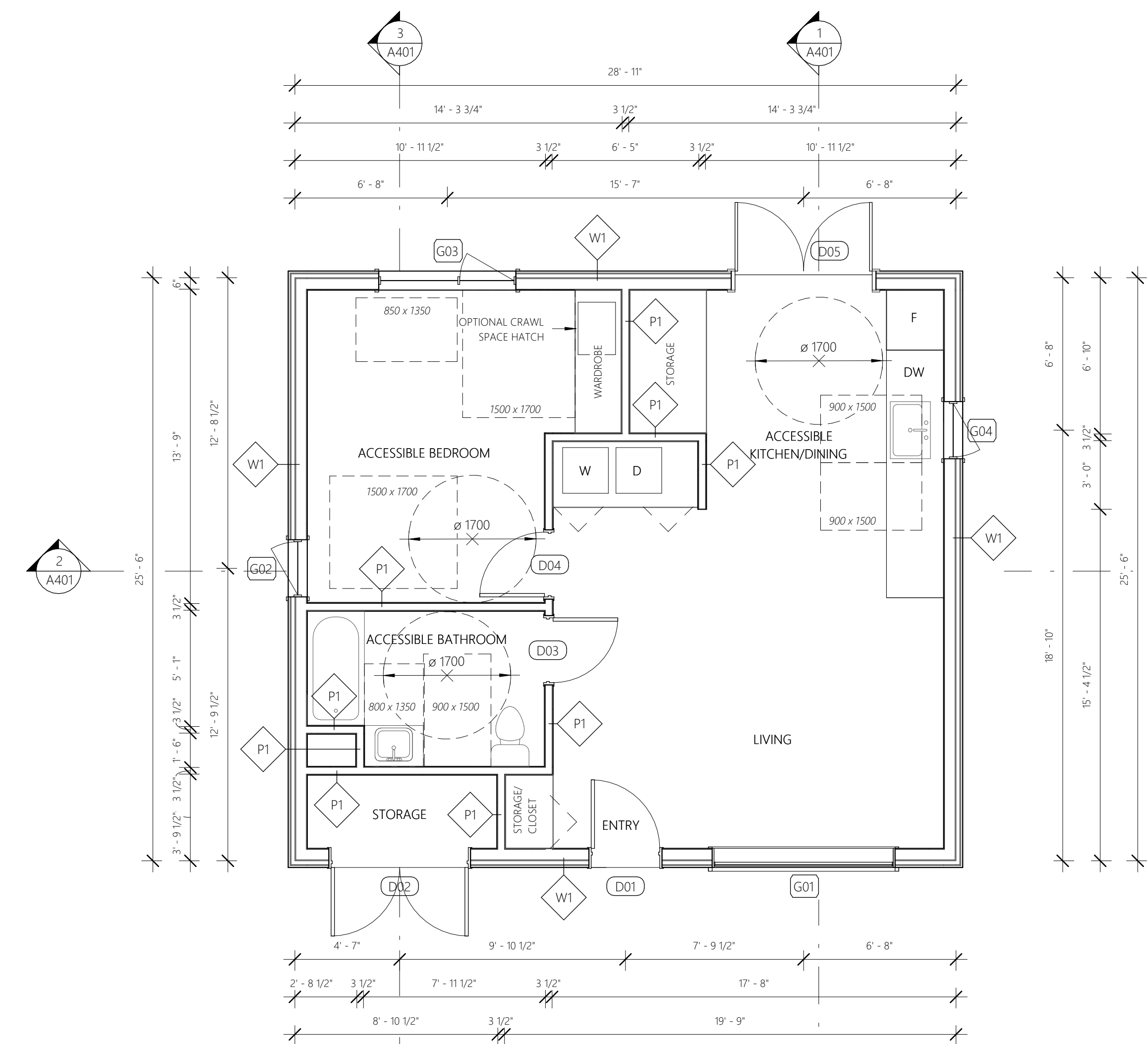
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO FOR ALL CIRCULATION AND HEIGHT REQUIRMENTS



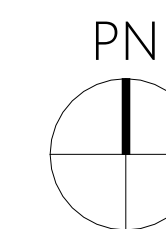
3 ROOF PLAN - 1 BED ACCESSIBLE
1:50



2 GROUND FLOOR RCP 1 BED ACCESSIBLE
1:50



1 GROUND FLOOR 1 BED ACCESSIBLE
1:50



TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

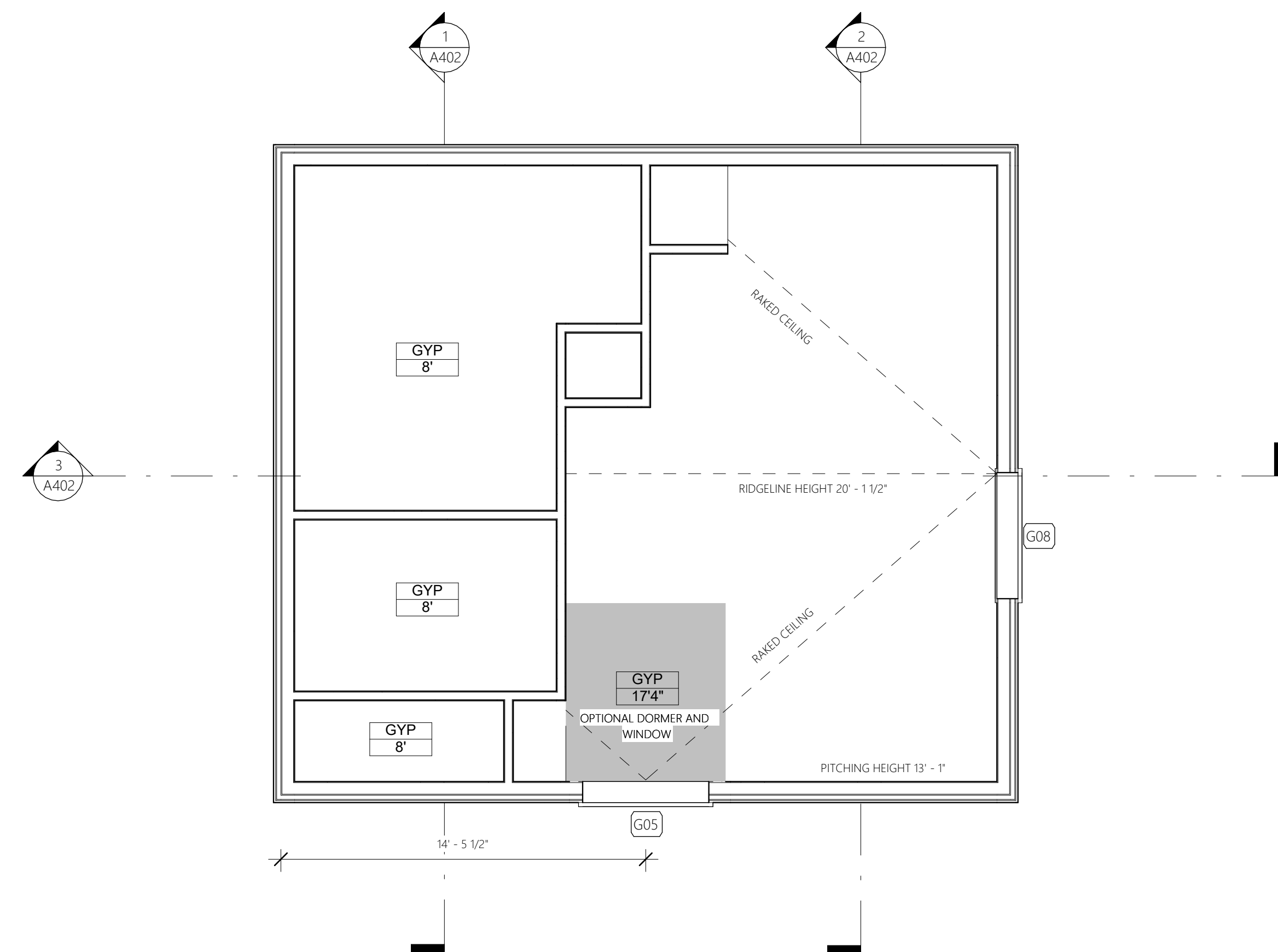
SHEET
PLANS - 1 BED ACCESSIBLE

A201

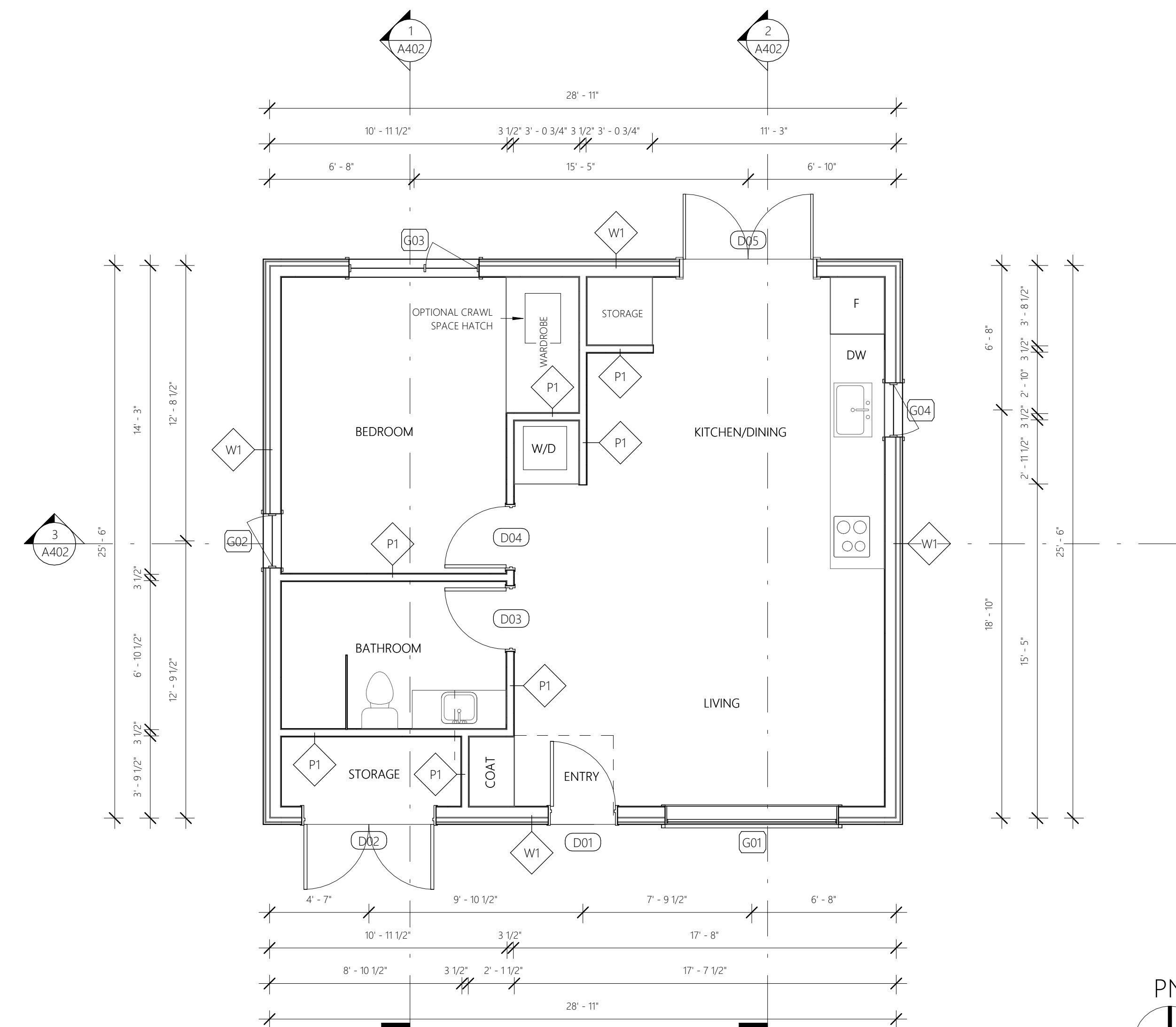
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO FOR ALL CIRCULATION AND HEIGHT REQUIRMENTS



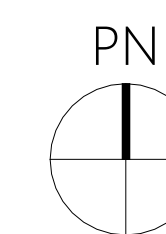
4 ROOF PLAN 1 BED
1:50



3 GROUND FLOOR RCP 1 BED
1:50



1 GROUND FLOOR 1 BED
1:50



TOWN OF CRESTON
ADU

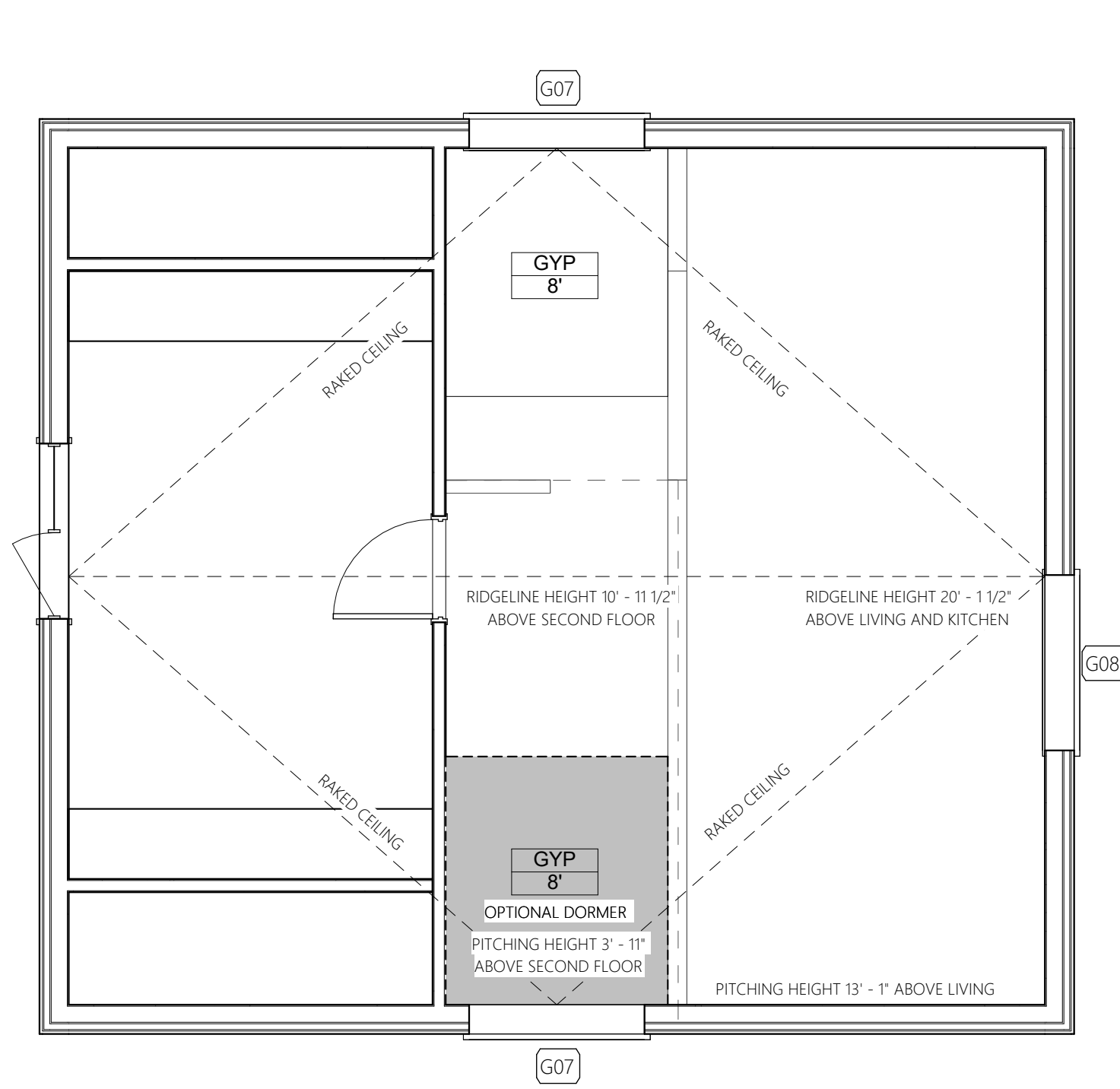
ADDRESS
Creston, BC

DATE
2024-07-15

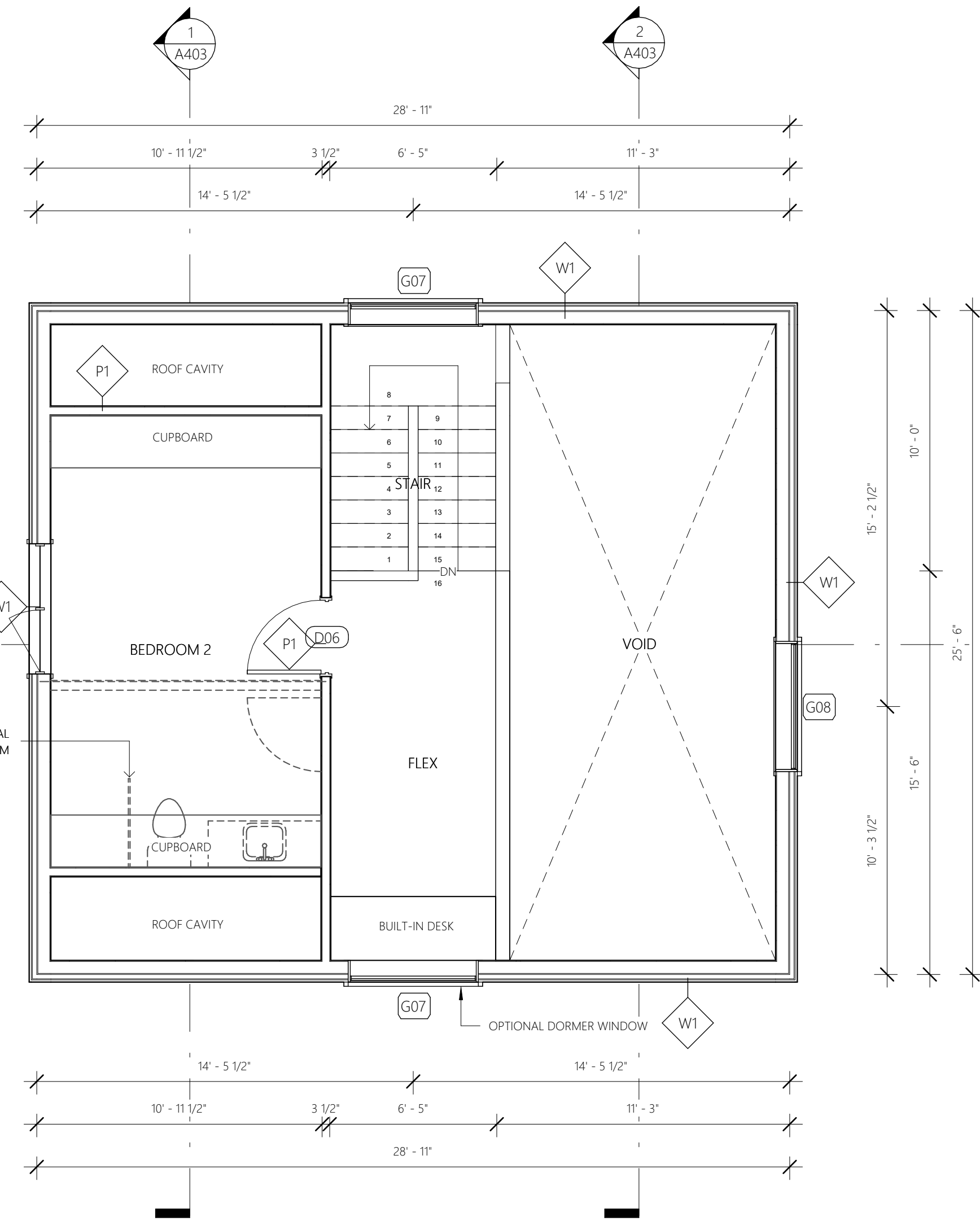
SHEET
PLANS - 1 BED

A202

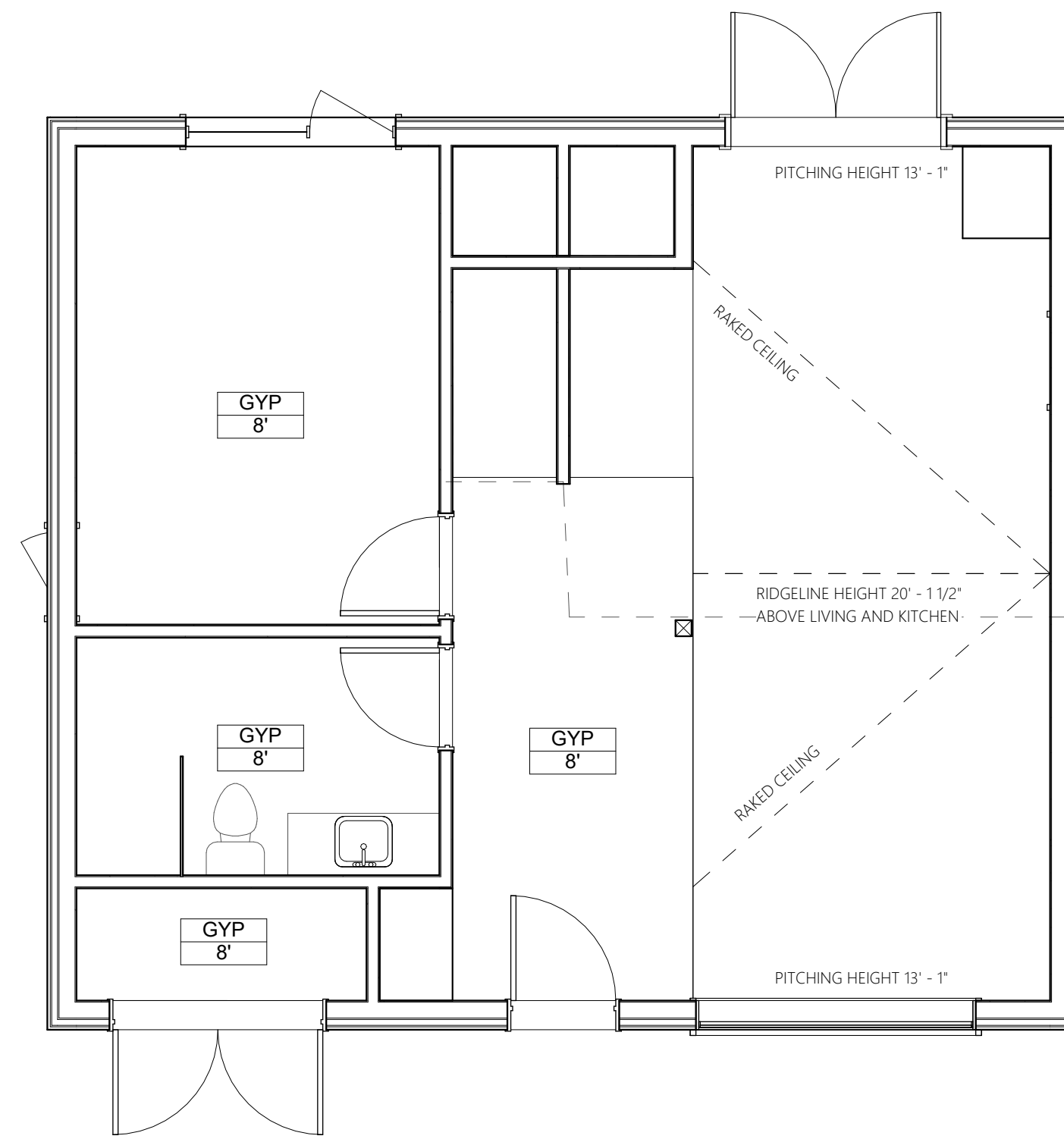
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO FOR ALL CIRCULATION AND HEIGHT REQUIRMENTS



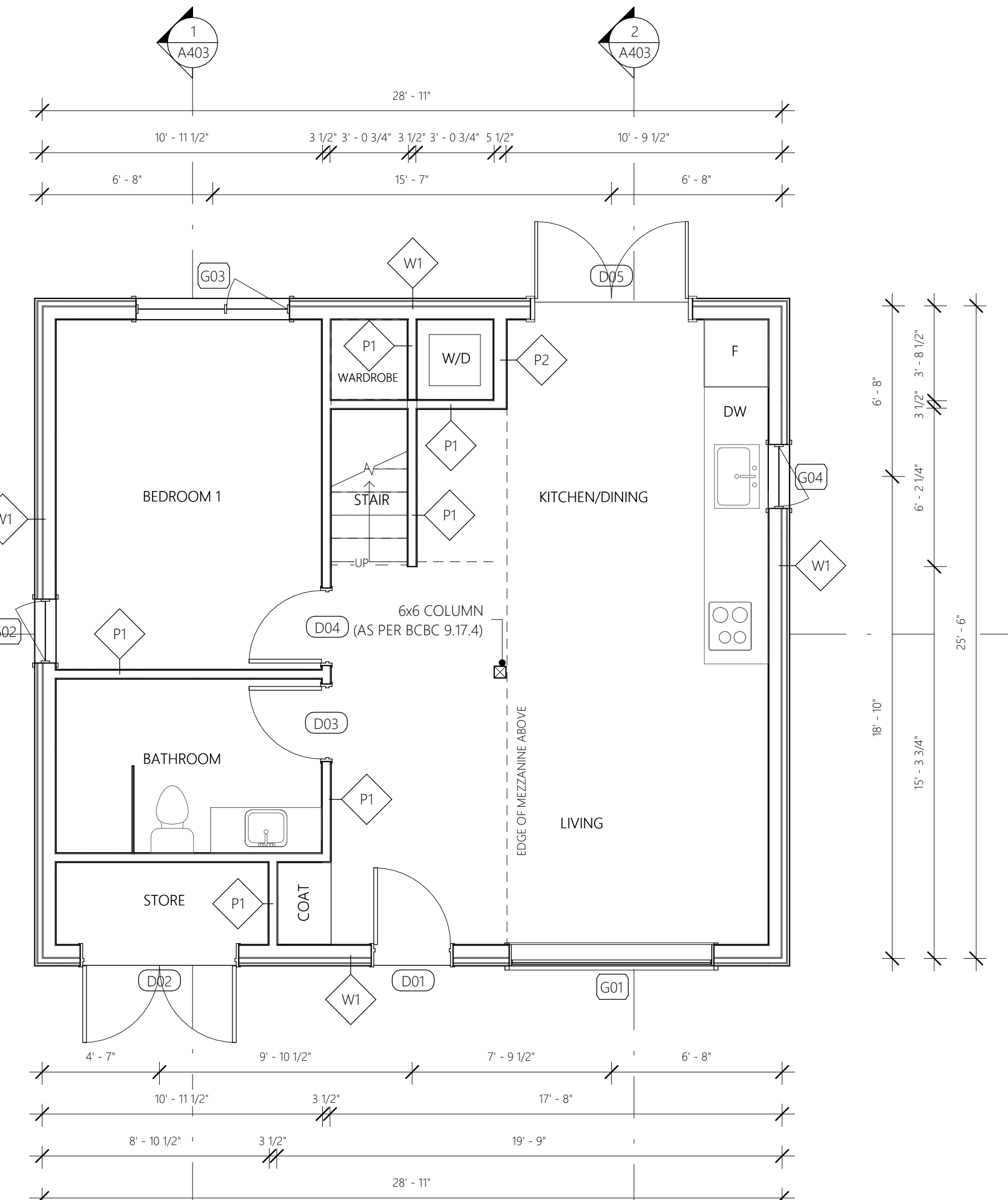
4 SECOND FLOOR RCP 2 BED
1:50



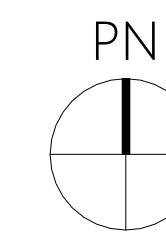
2 SECOND FLOOR 2 BED
1:50



3 GROUND FLOOR RCP 2 BED
1:50



1 GROUND FLOOR 2 BED
1:50



TOWN OF CRESTON
ADU

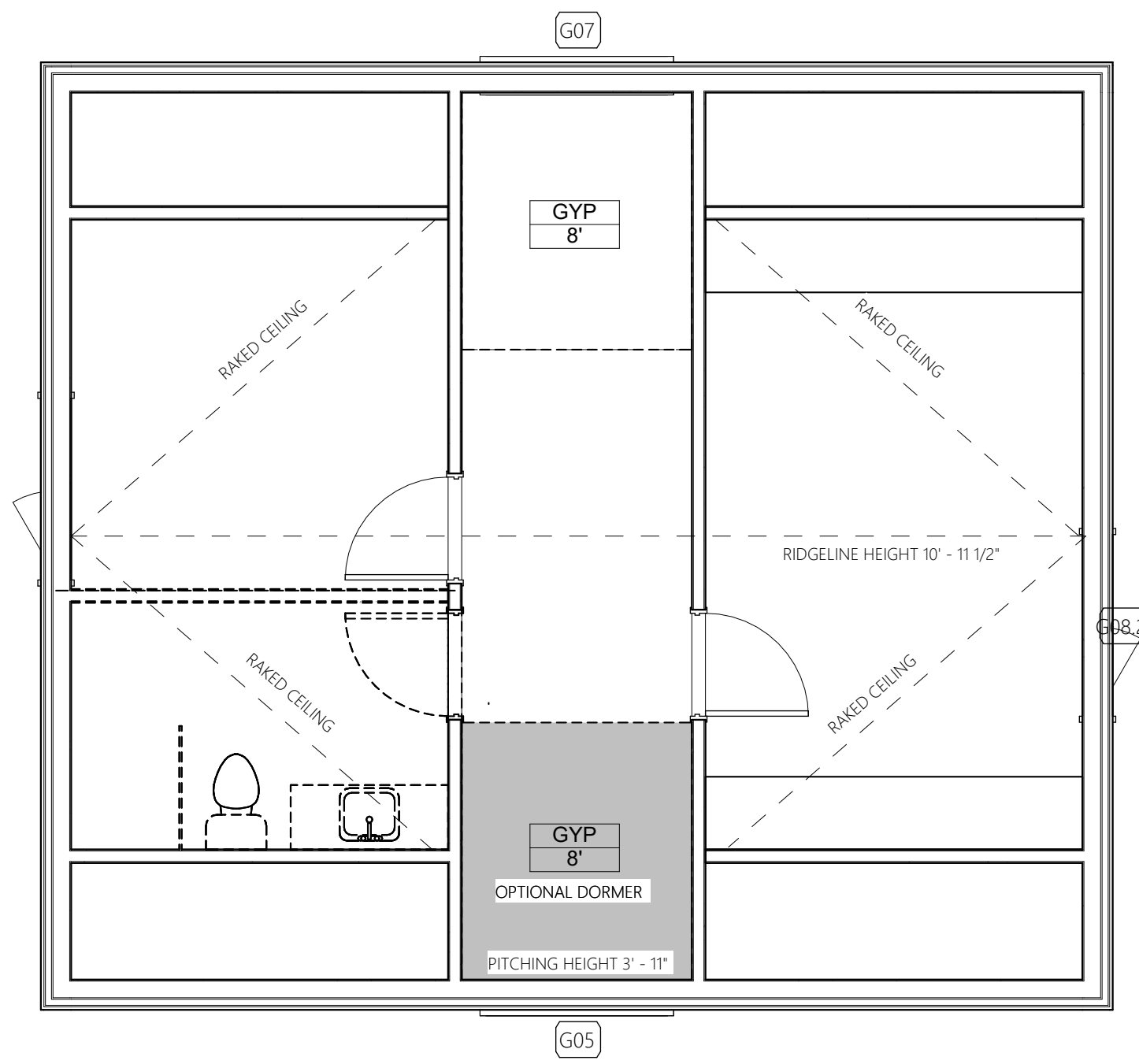
ADDRESS
Creston, BC

DATE
2024-07-15

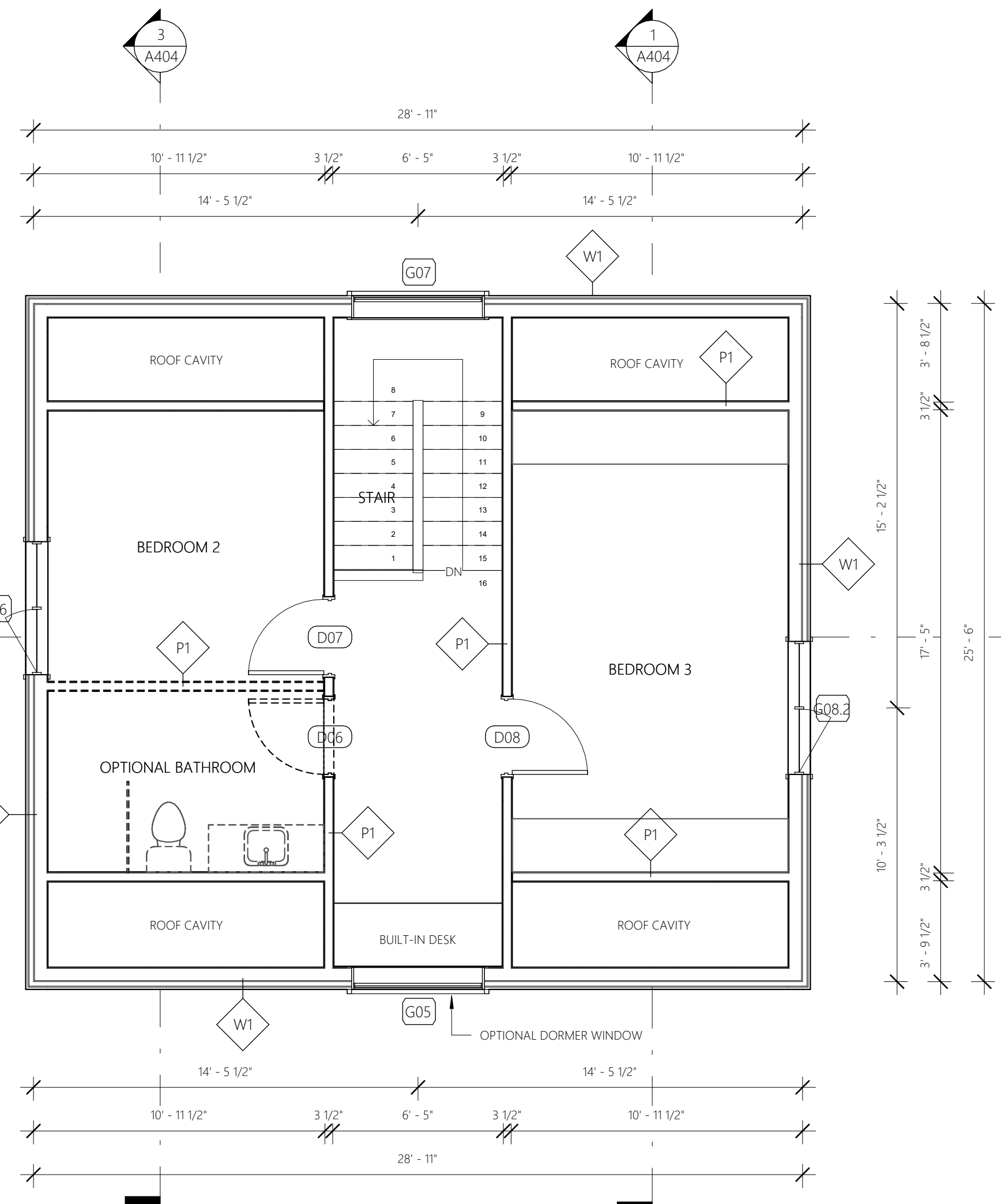
SHEET
PLANS - 2 BED

A203

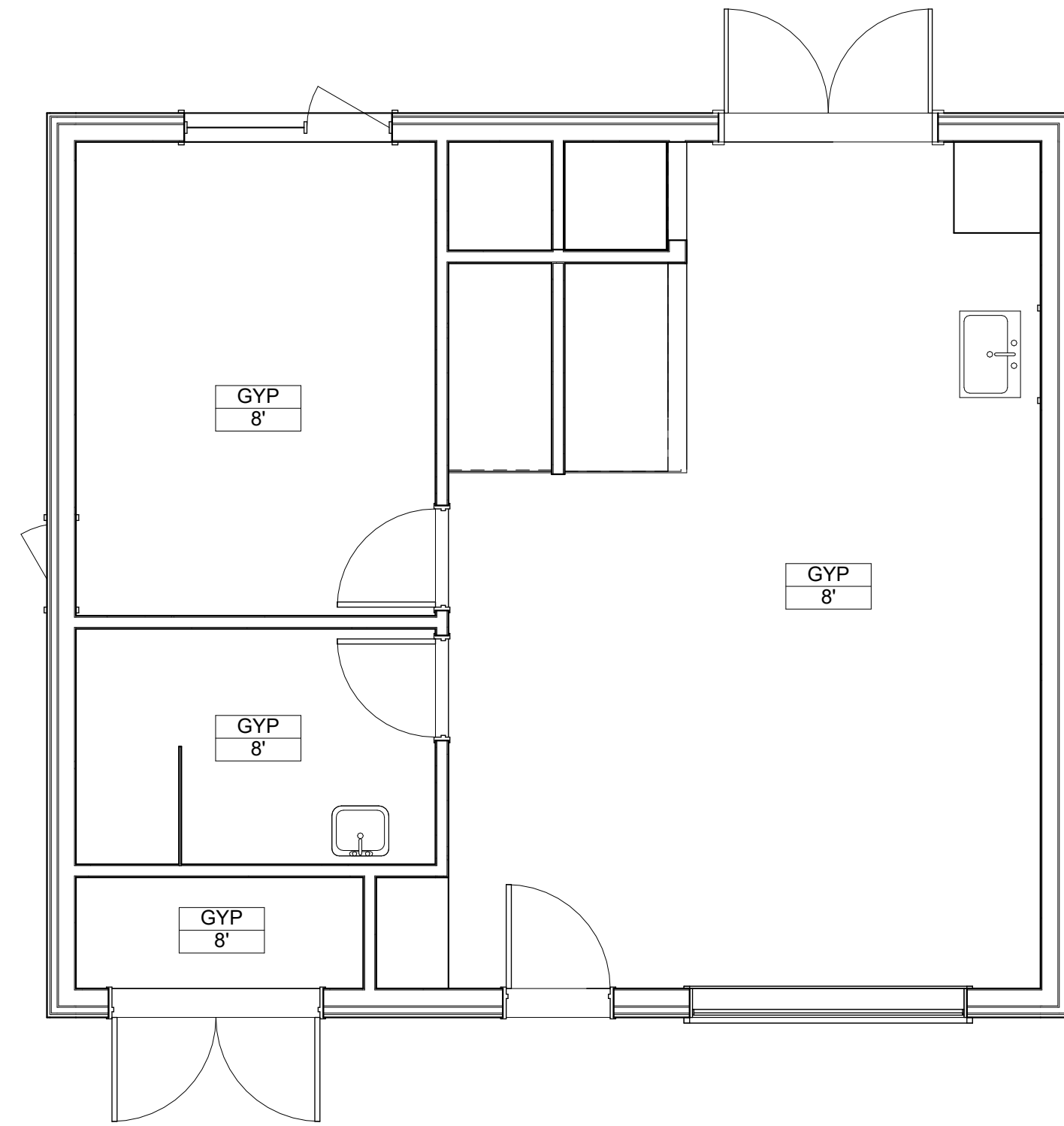
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO CONFIRM ALL CIRCULATION AND HEIGHT REQUIREMENTS



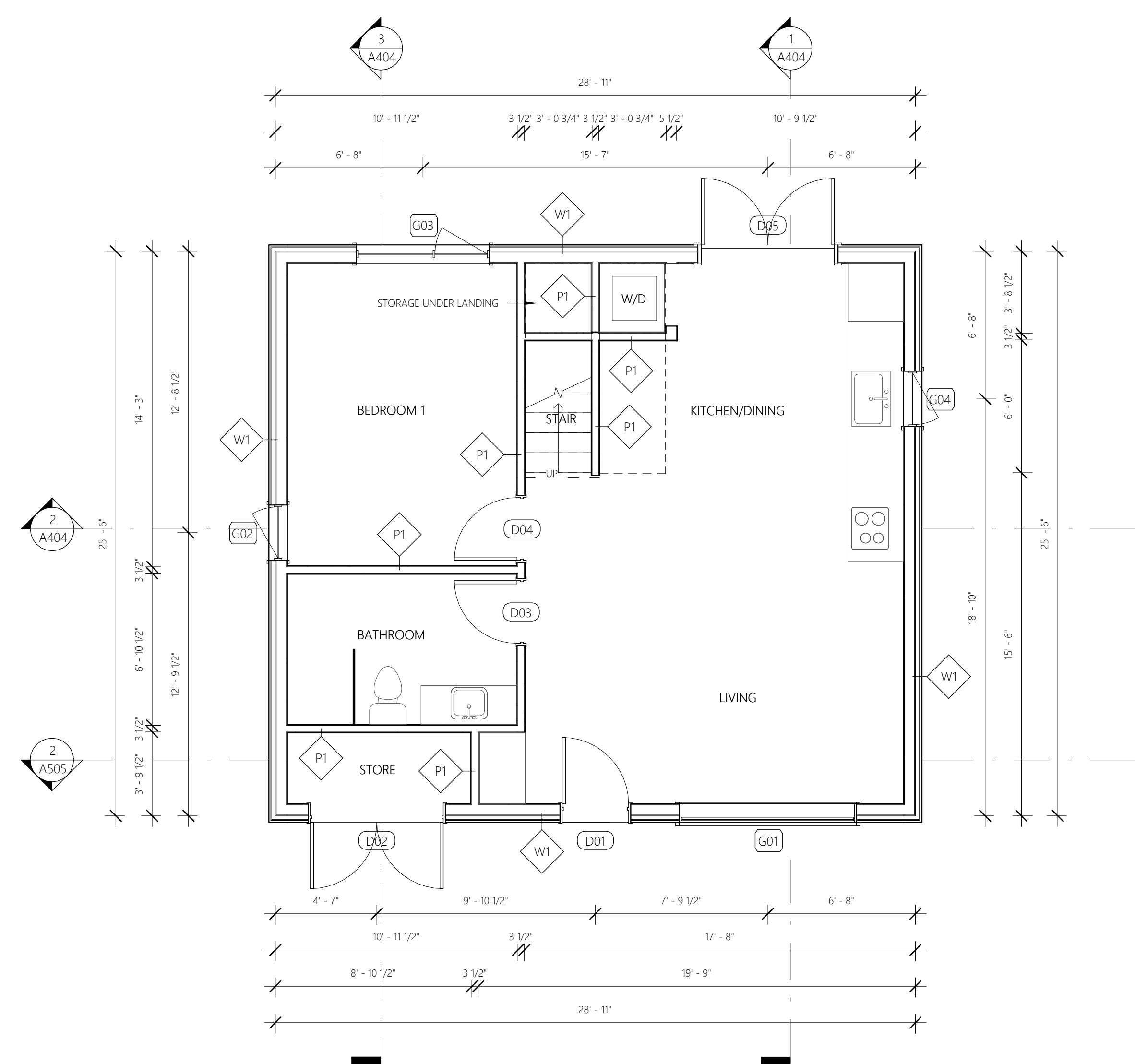
4 SECOND FLOOR RCP 3 BED
1:50



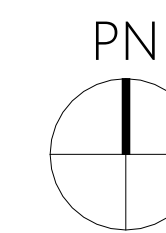
2 SECOND FLOOR 3 BED
1:50



3 GROUND FLOOR RCP 3 BED
1:50



1 GROUND FLOOR 3 BED
1:50



TOWN OF CRESTON
ADU

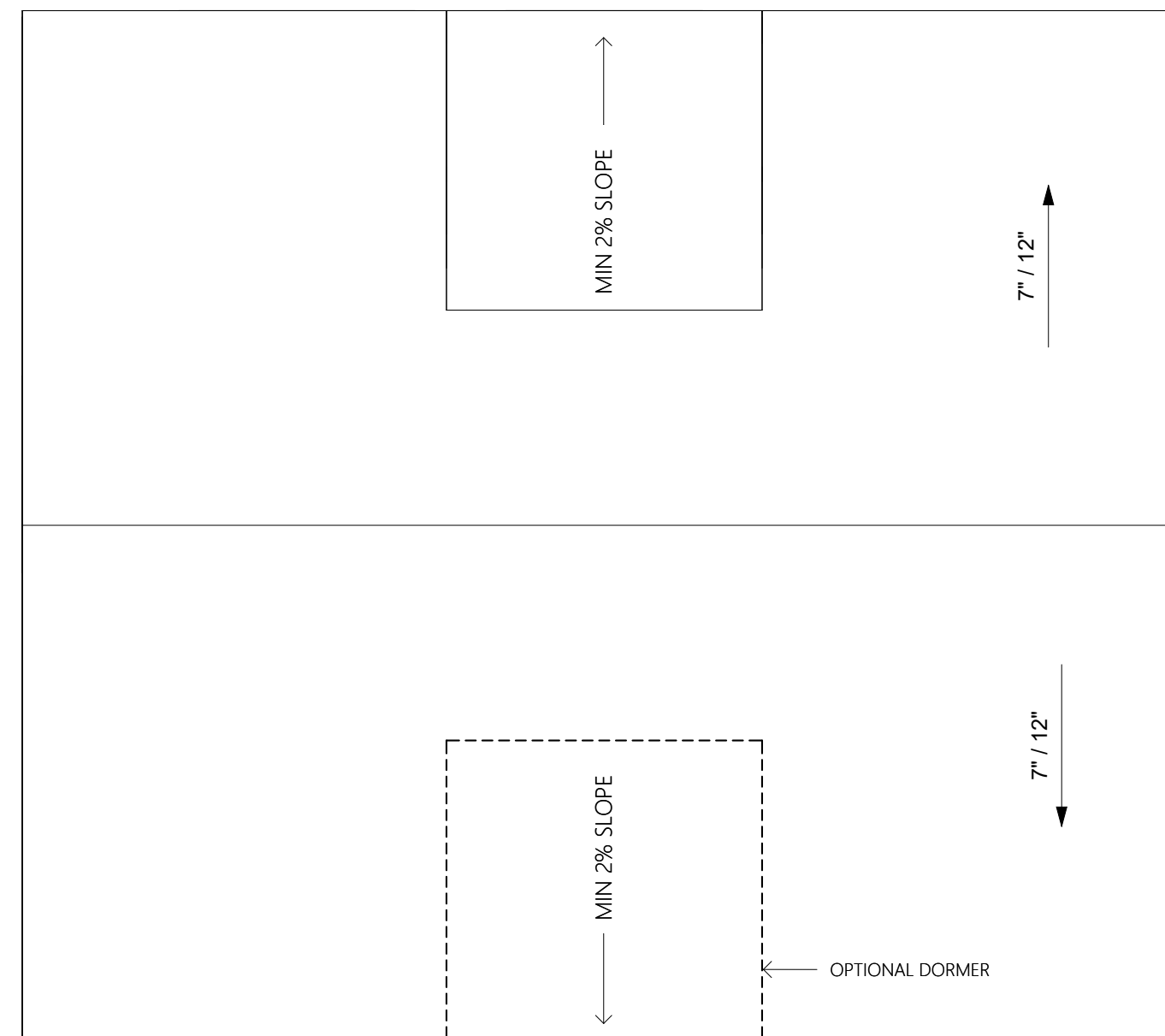
ADDRESS
Creston, BC

DATE
2024-07-15

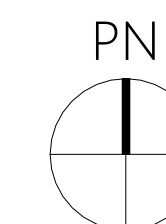
SHEET
PLANS - 3 BED

A205

2024/07/15 11:45:07 AM



2 ROOF PLAN - 2 & 3 BED
1:50



TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

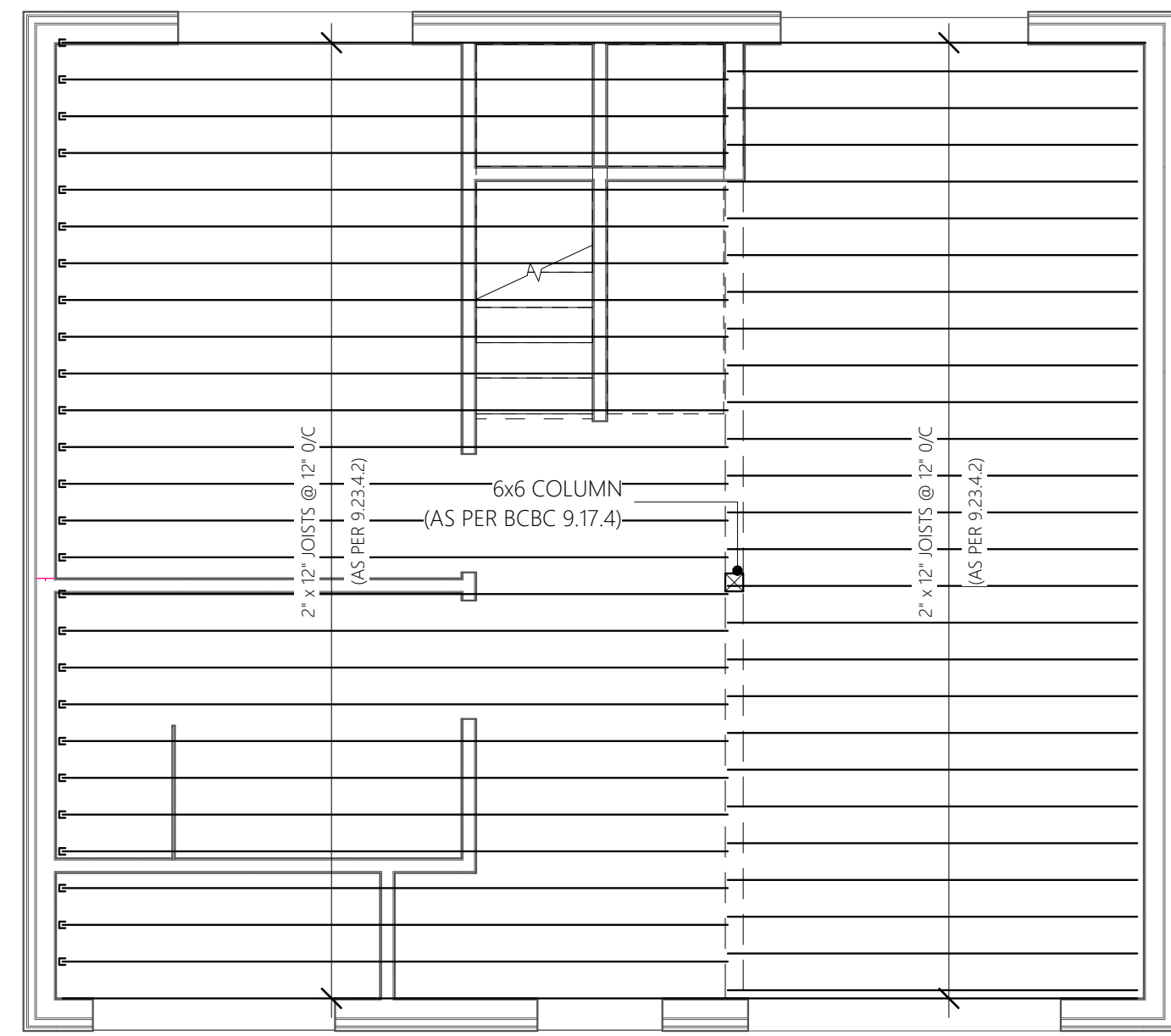
SHEET
ROOF PLANS - 2 & 3 BED +
DORMER WINDOWS RCP

A206

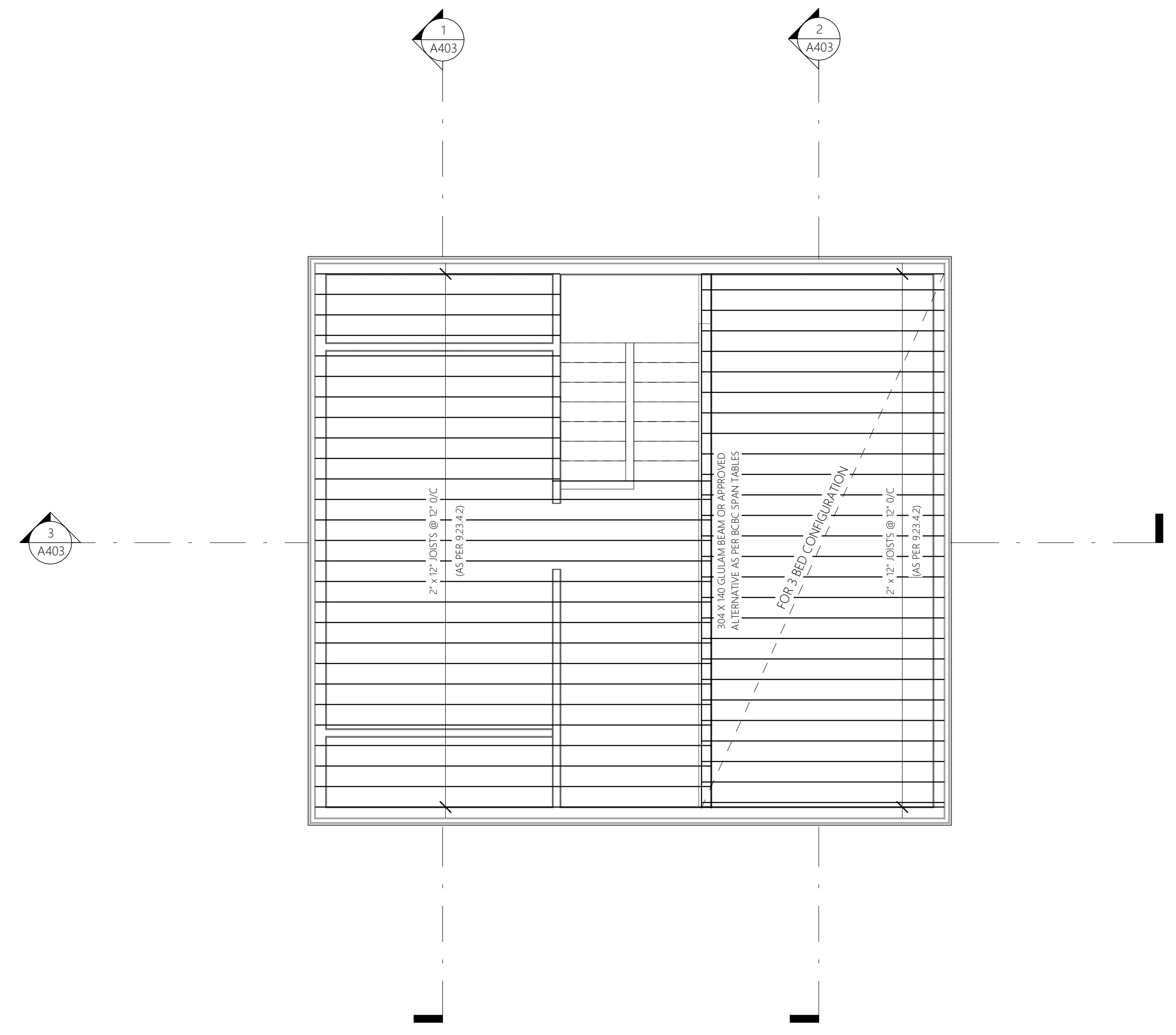
NOTE: ALL FRAMING AND FOUNDATIONS ARE TO BE SIZED IN ACCORDANCE WITH PART 9 OF BCBC OR AS PER STRUCTURAL ENGINEERING.



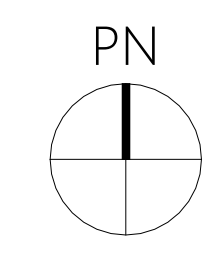
2 CRAWL SPACE FOUNDATION PLAN
1:50



1 GROUND FLOOR FRAMING PLAN
1:50



3 SECOND FLOOR 2 BED FRAMING PLAN
1:50



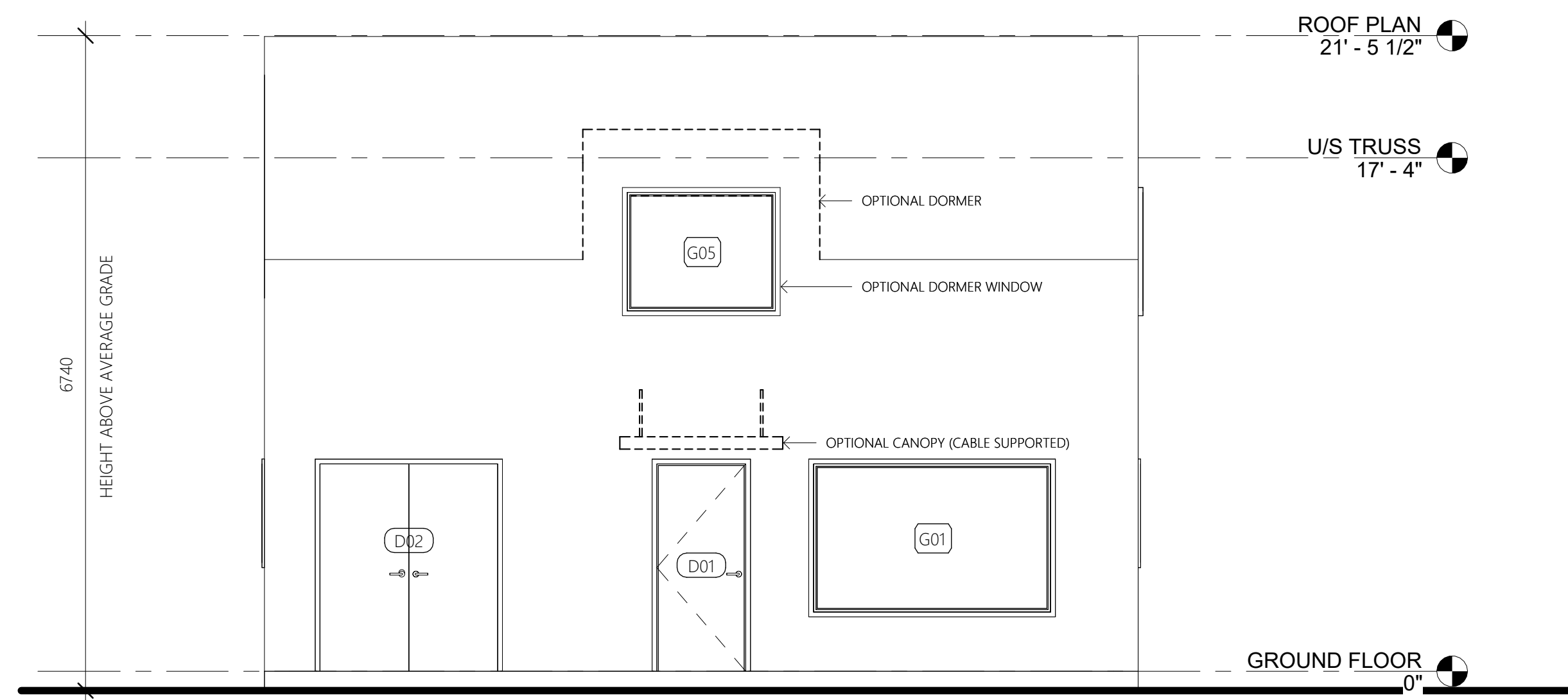
TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

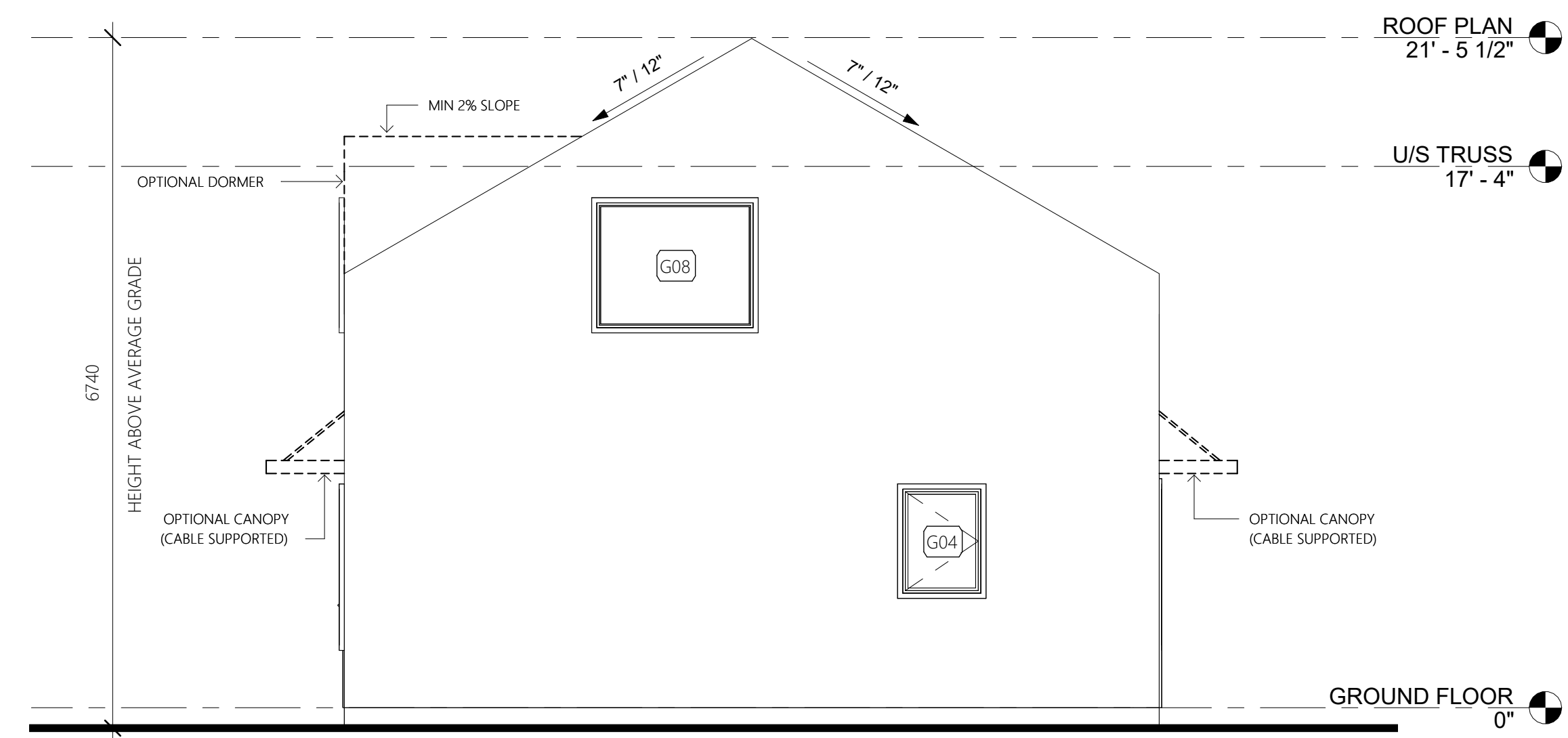
DATE
2024-07-15

SHEET
FRAMING PLAN

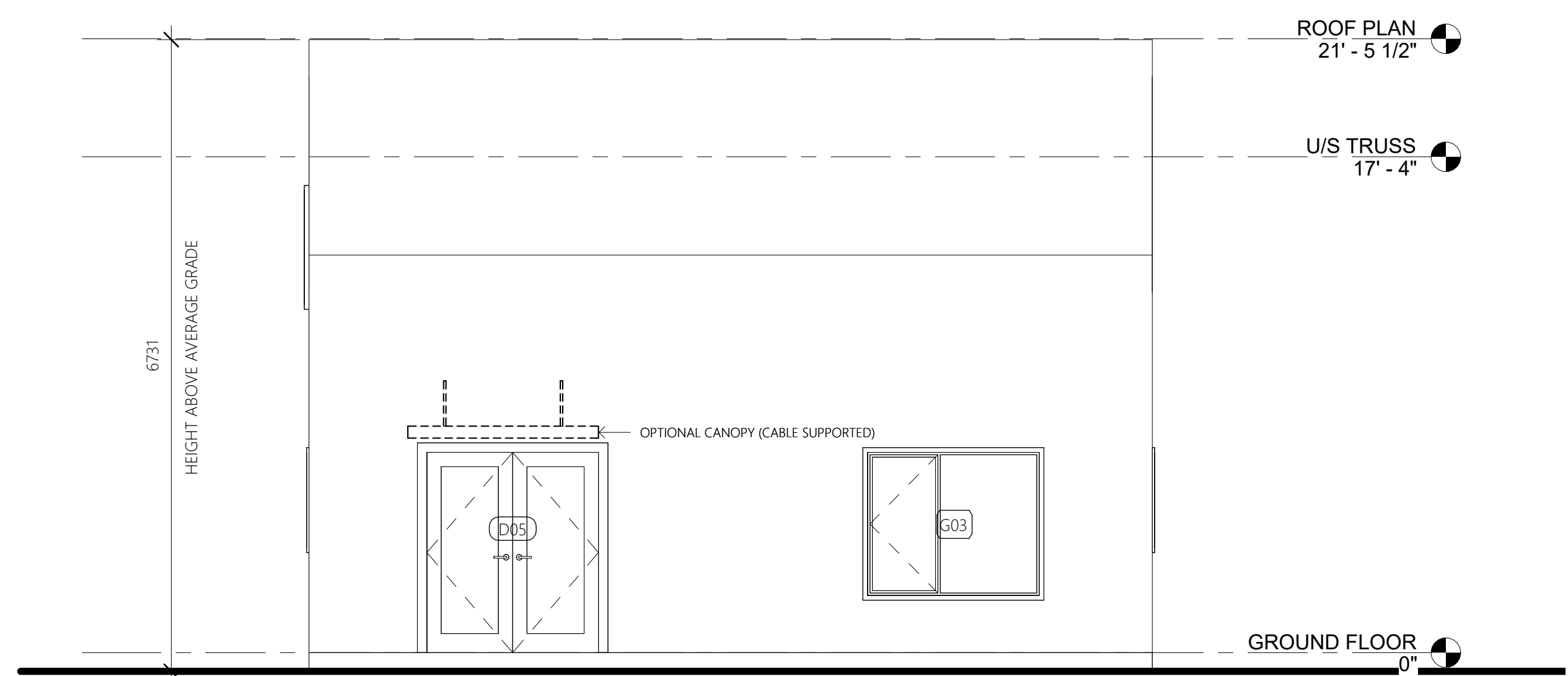
A207



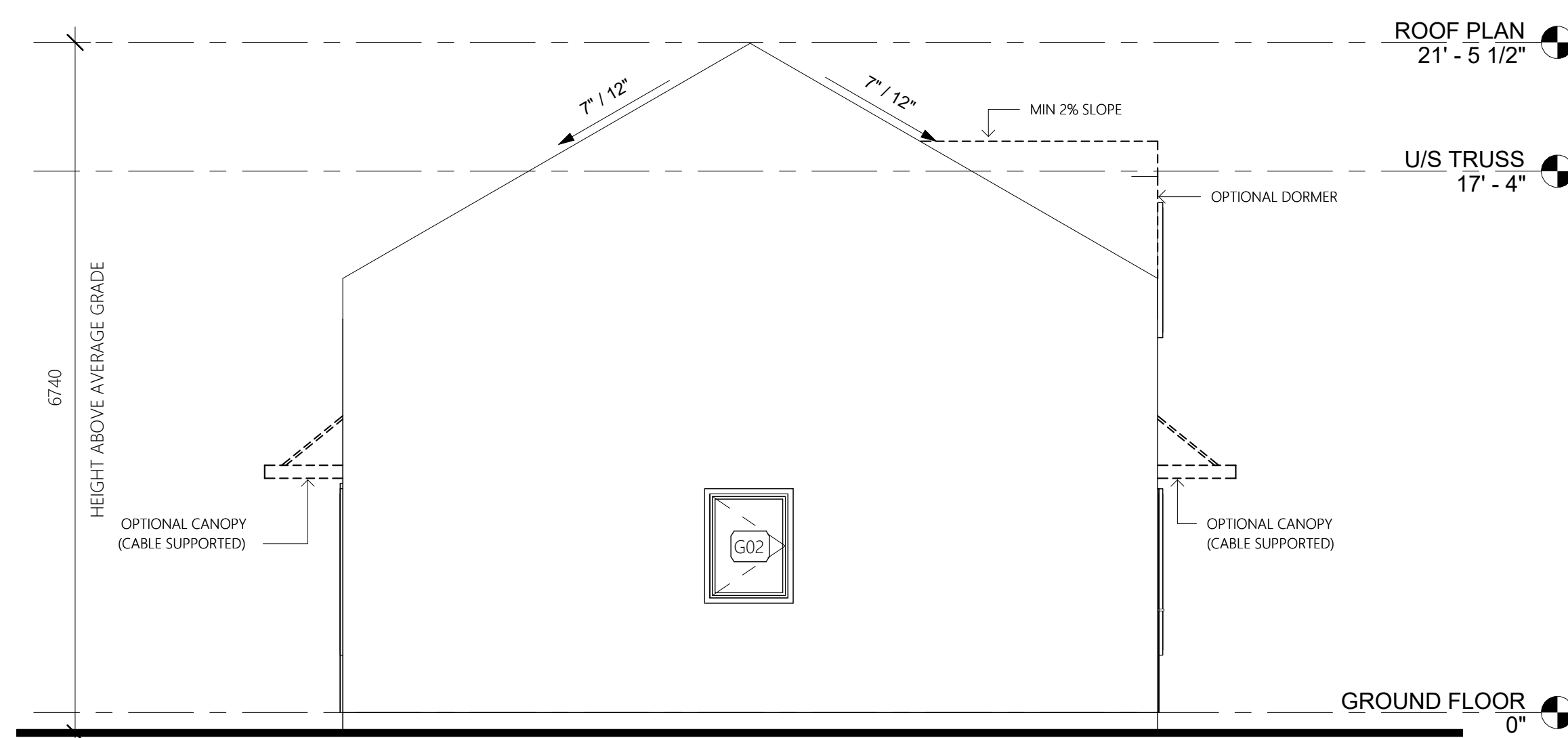
1 PROJECT SOUTH ELEVATION - 1 BED
1:50



3 PROJECT EAST ELEVATION - 1 BED
1:50



2 PROJECT NORTH ELEVATION - 1 BED
1:50



4 PROJECT WEST ELEVATION - 1 BED
1:50

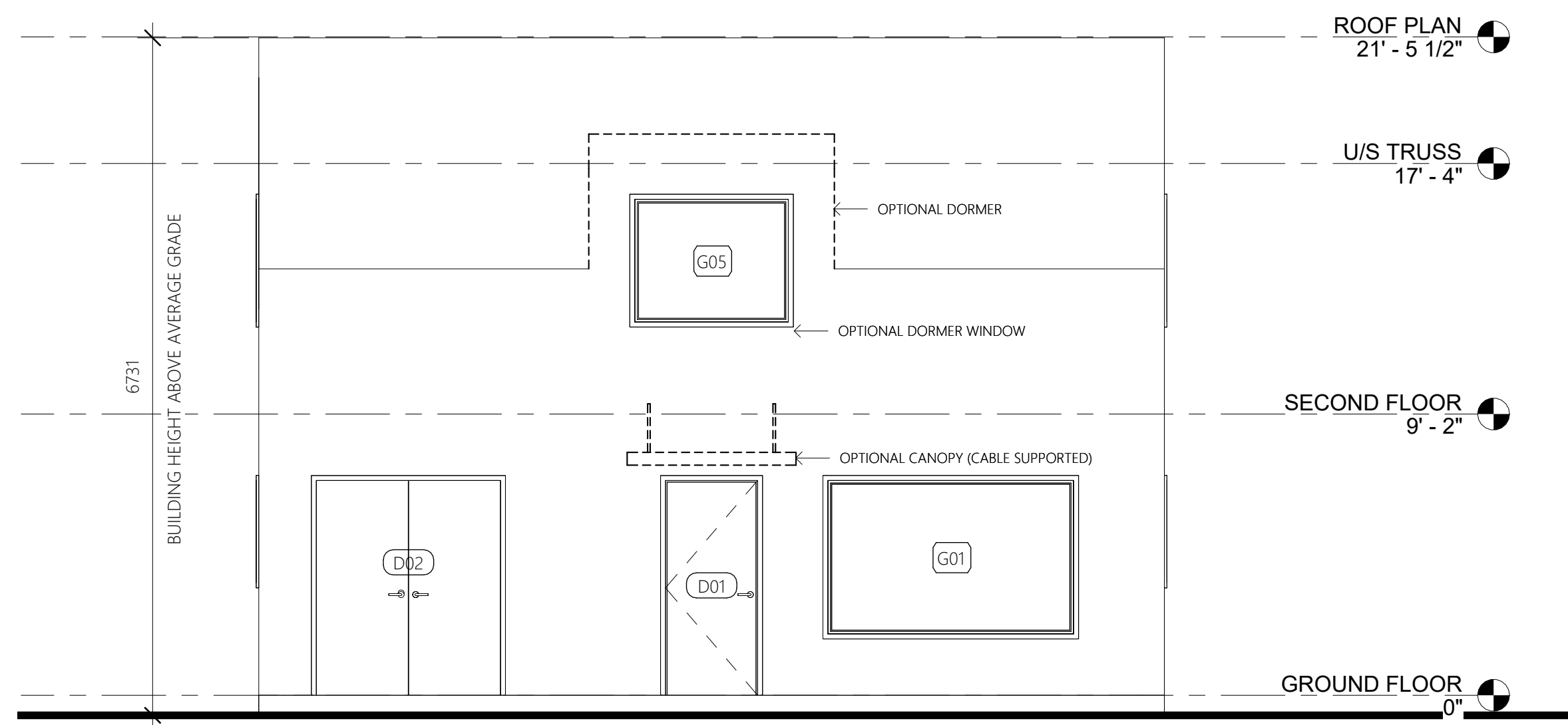
TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

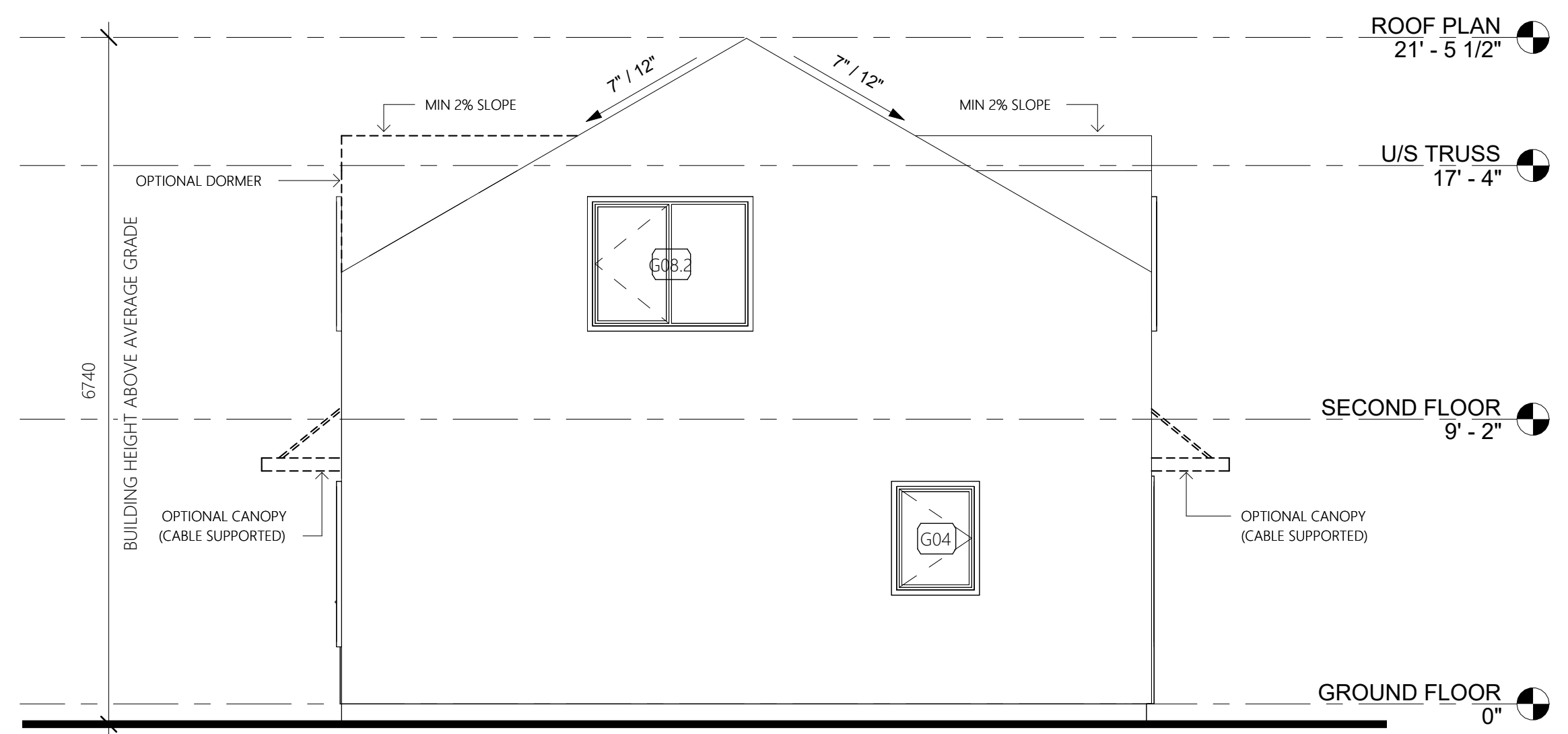
DATE
2024-07-15

SHEET
ELEVATIONS - 1 BED

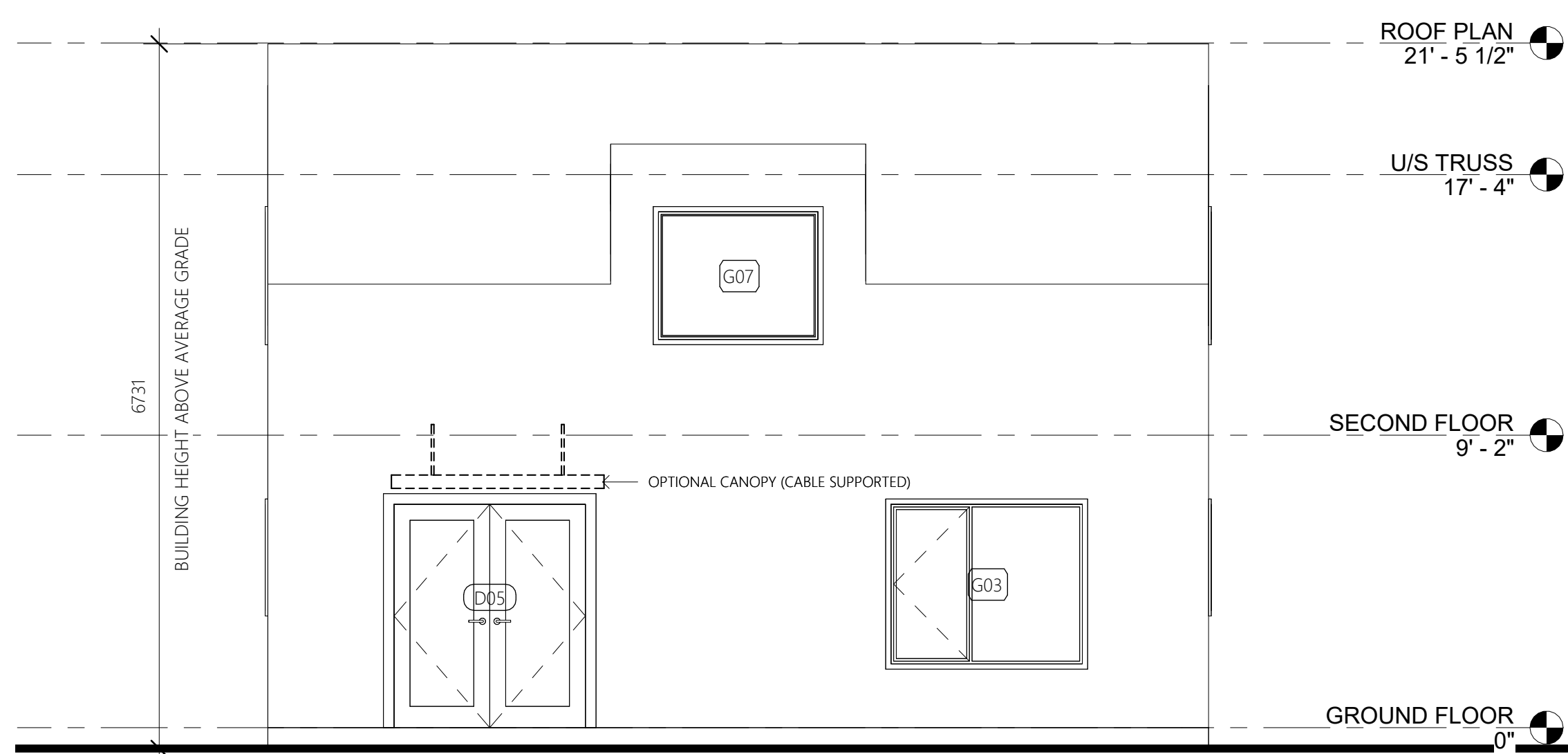
A301



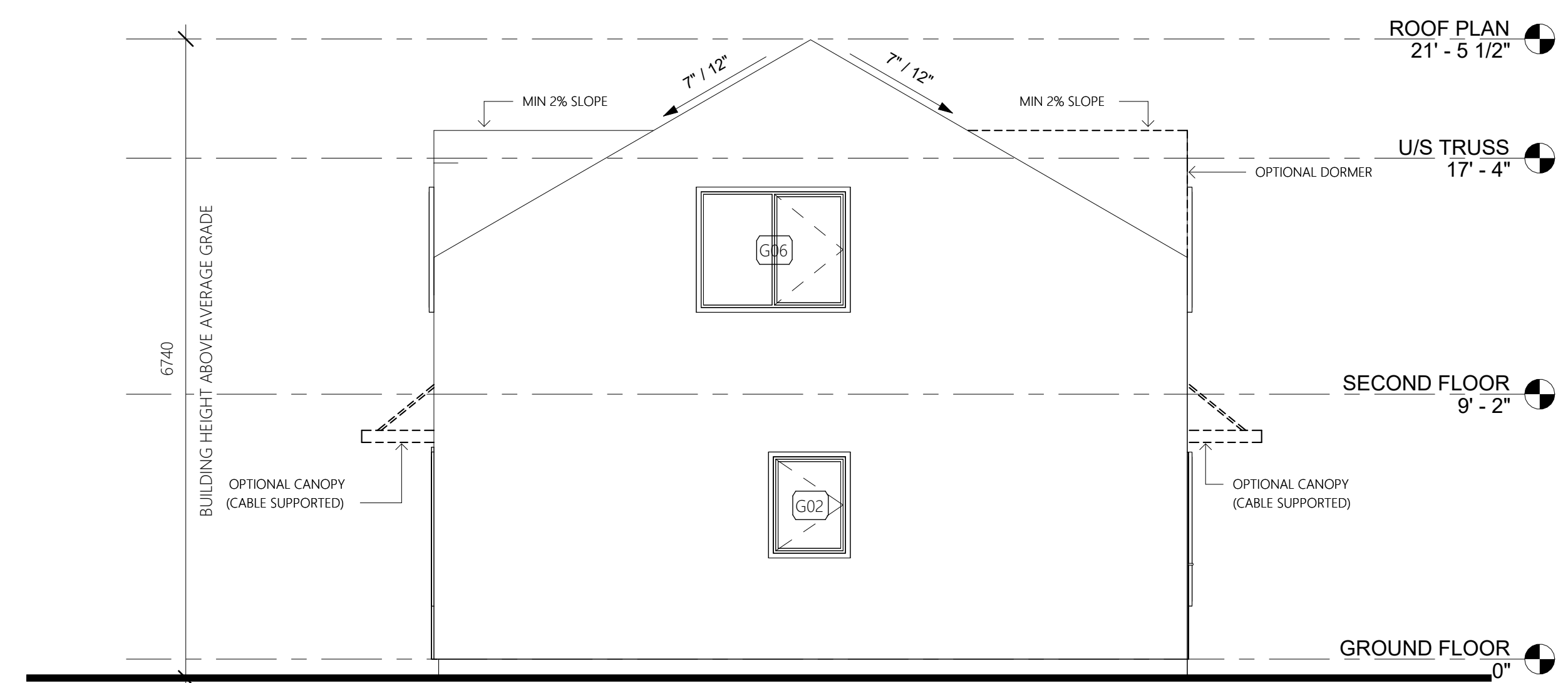
1 PROJECT SOUTH ELEVATION - 2 & 3 BED
1:50



3 PROJECT EAST ELEVATION - 2 & 3 BED
1:50



2 PROJECT NORTH ELEVATION - 2 & 3 BED
1:50



4 PROJECT WEST ELEVATION - 2 & 3 BED
1:50

TOWN OF CRESTON
ADU

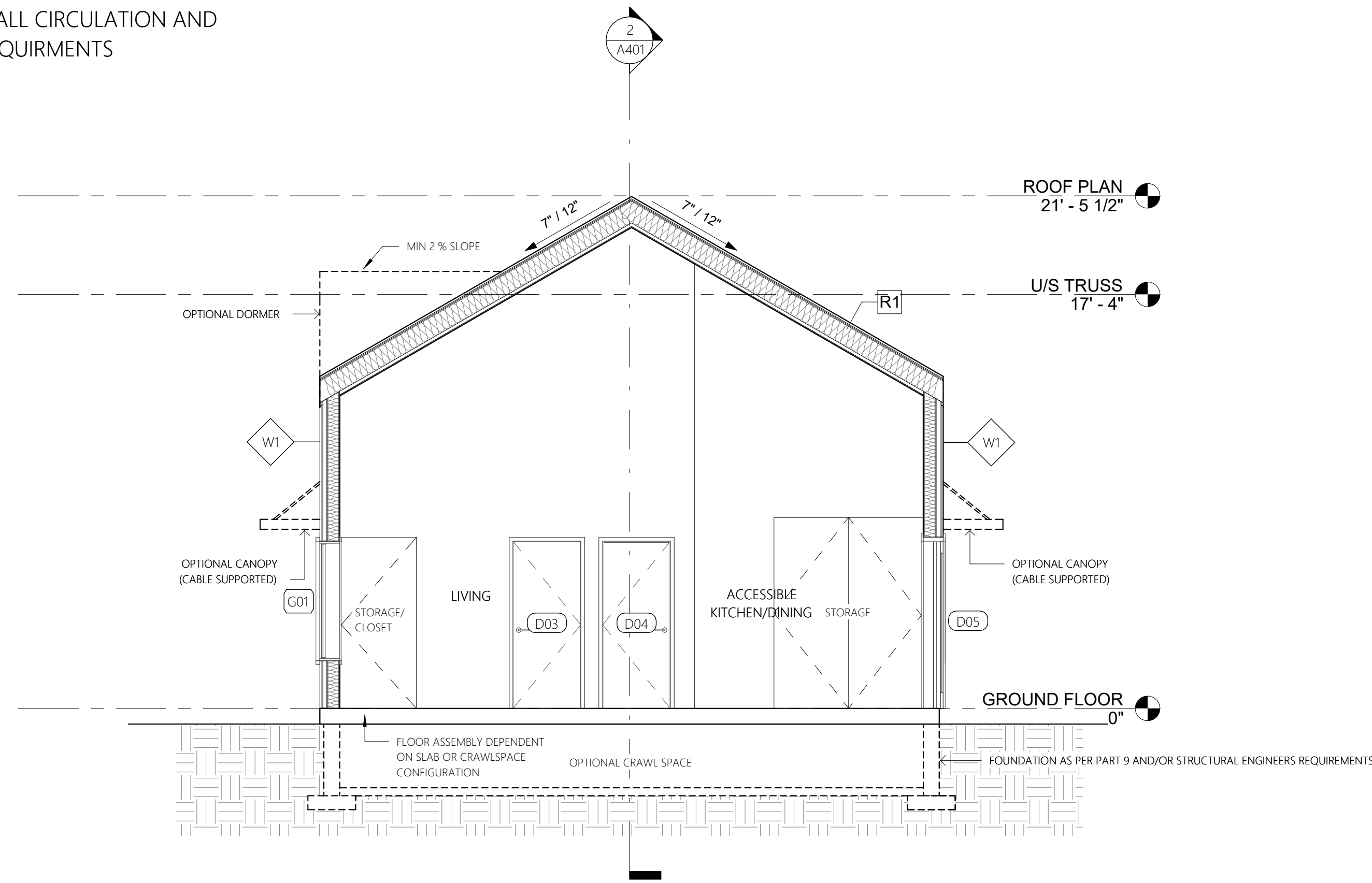
ADDRESS
Creston, BC

DATE
2024-07-15

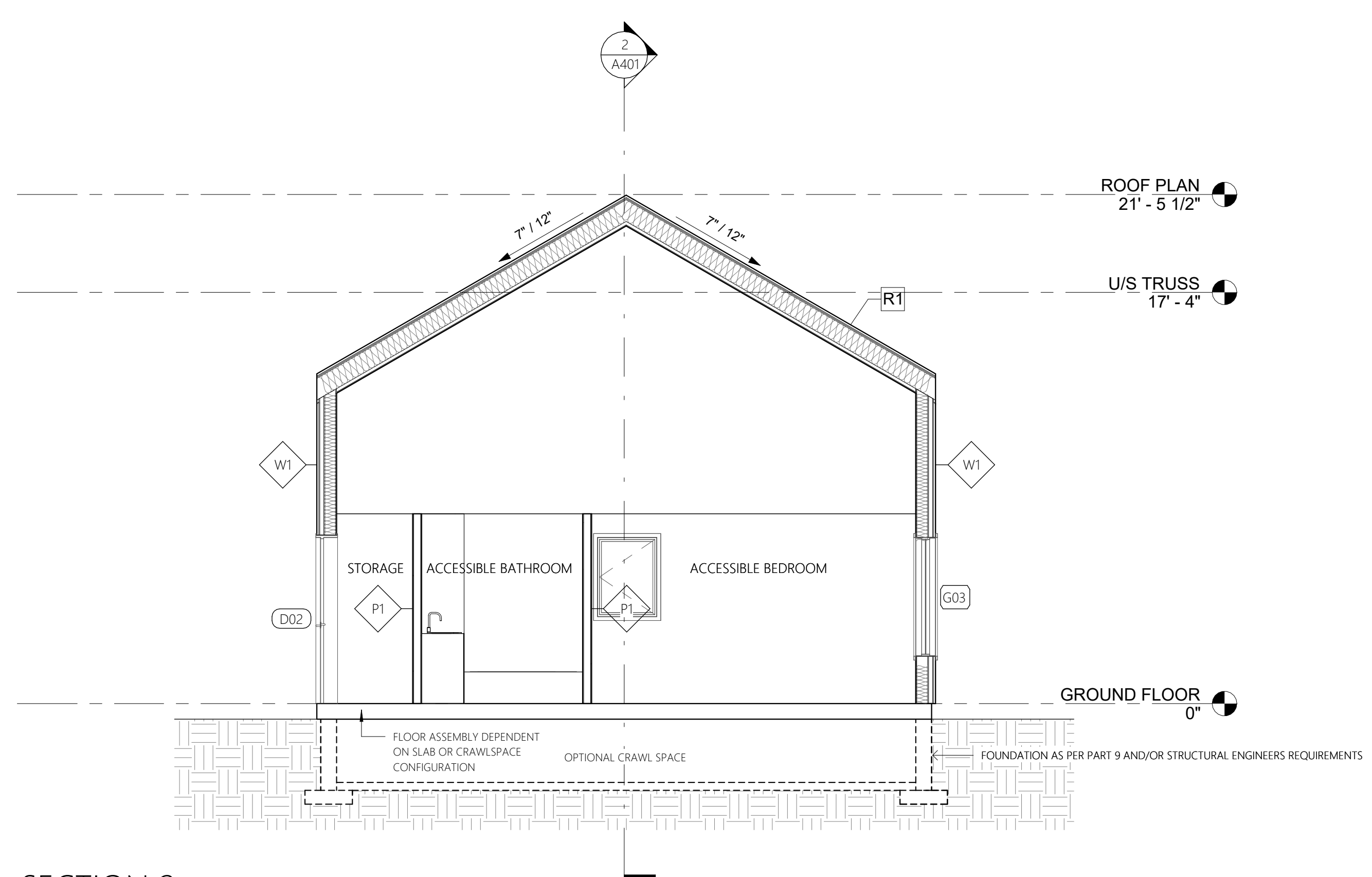
SHEET
ELEVATIONS - 2 & 3 BED

A302

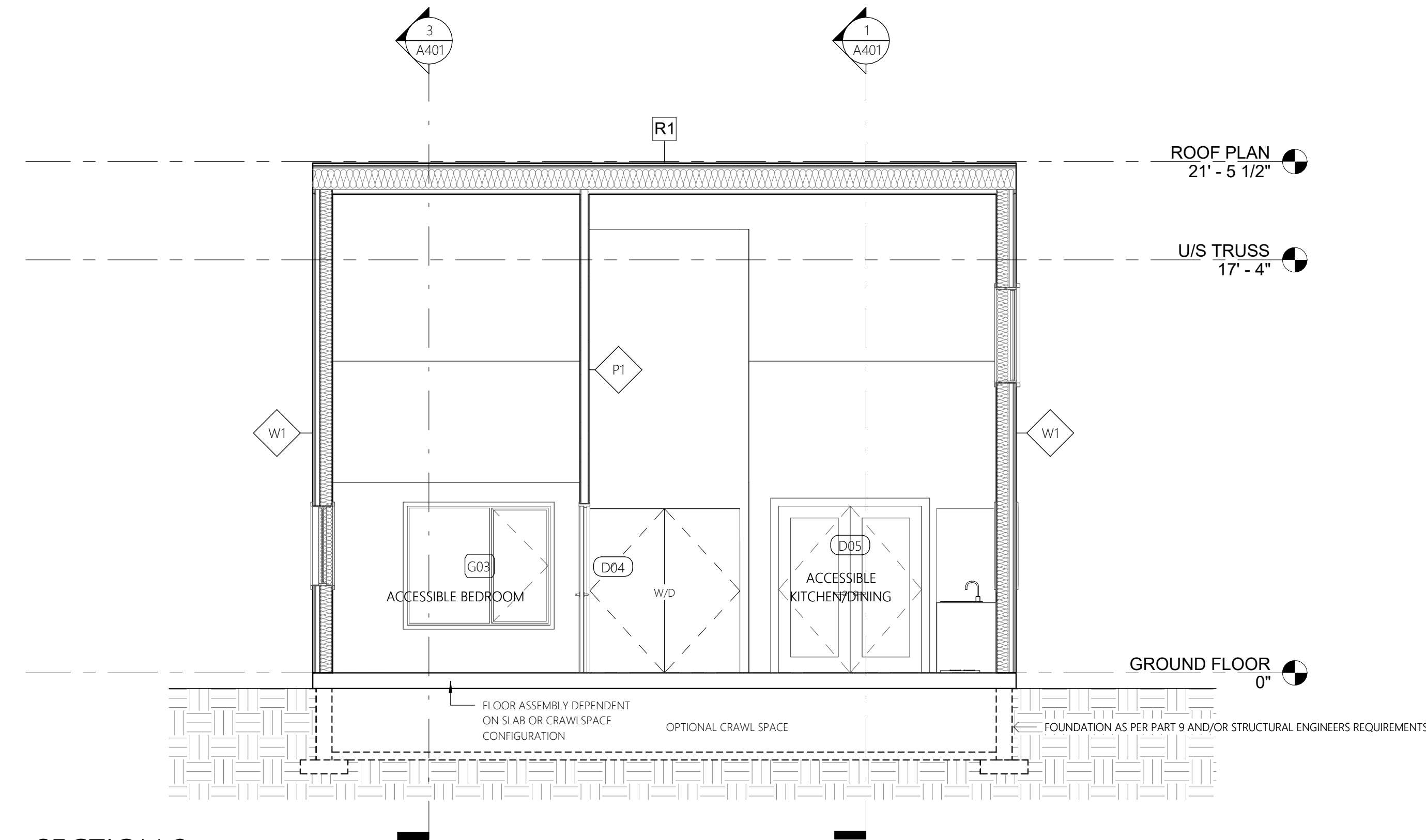
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO CONFIRM ALL CIRCULATION AND HEIGHT REQUIREMENTS



1 SECTION 1
1:50



3 SECTION 2
1:50



2 SECTION 3
1:50

TOWN OF CRESTON
ADU

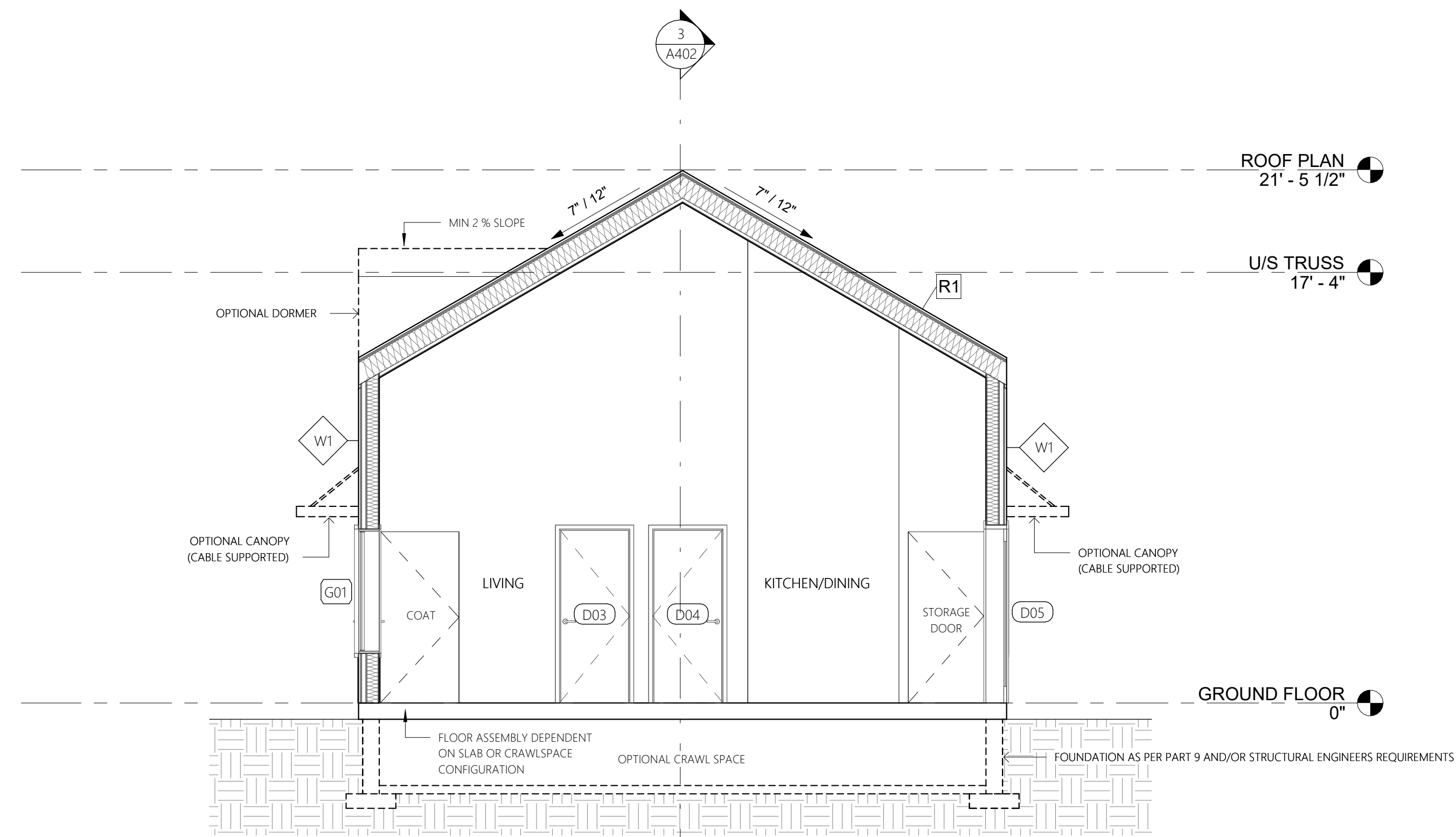
ADDRESS
Creston, BC

DATE
2024-07-15

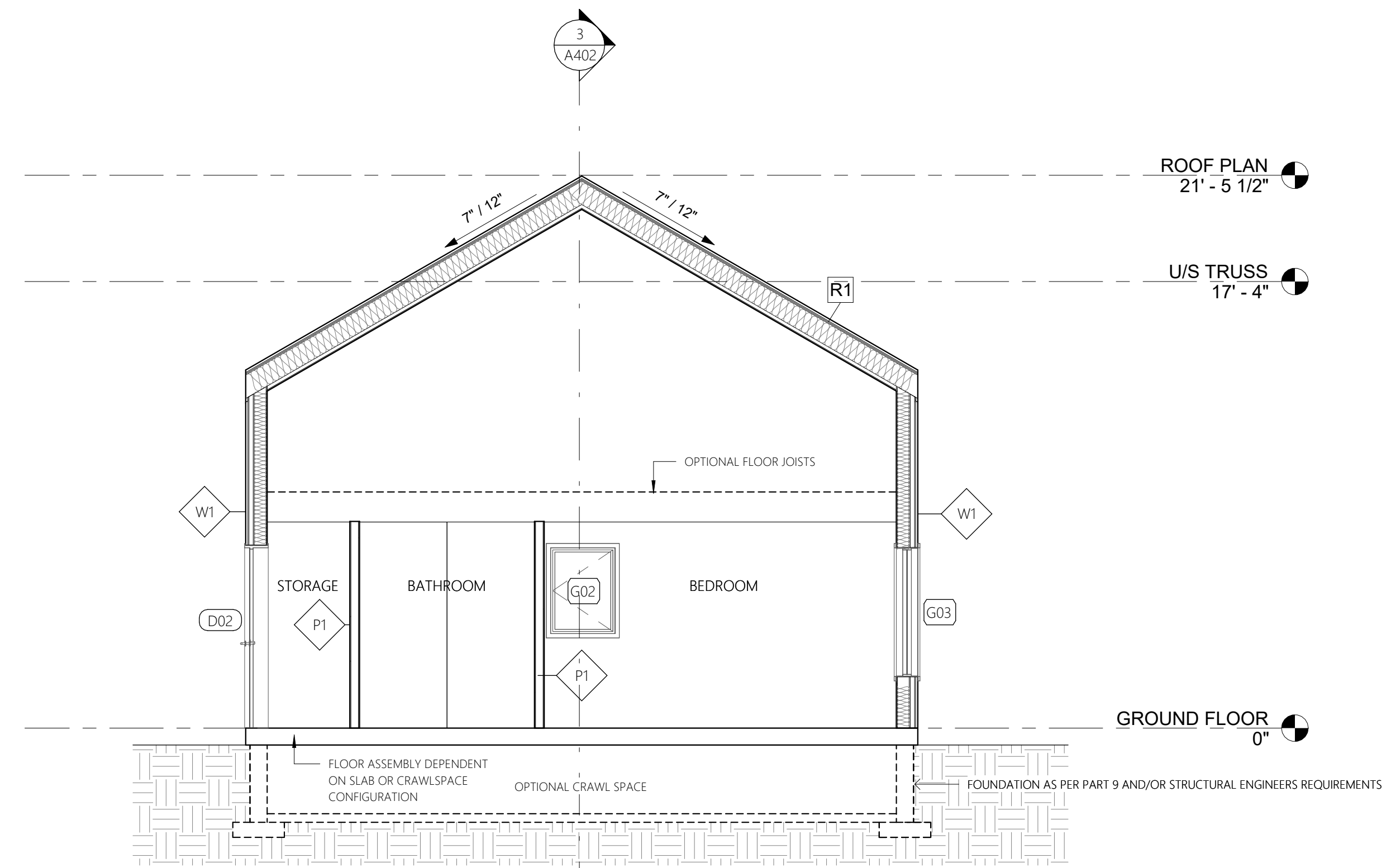
SHEET
BUILDING SECTIONS-1 BED
ACCESSIBLE

A401

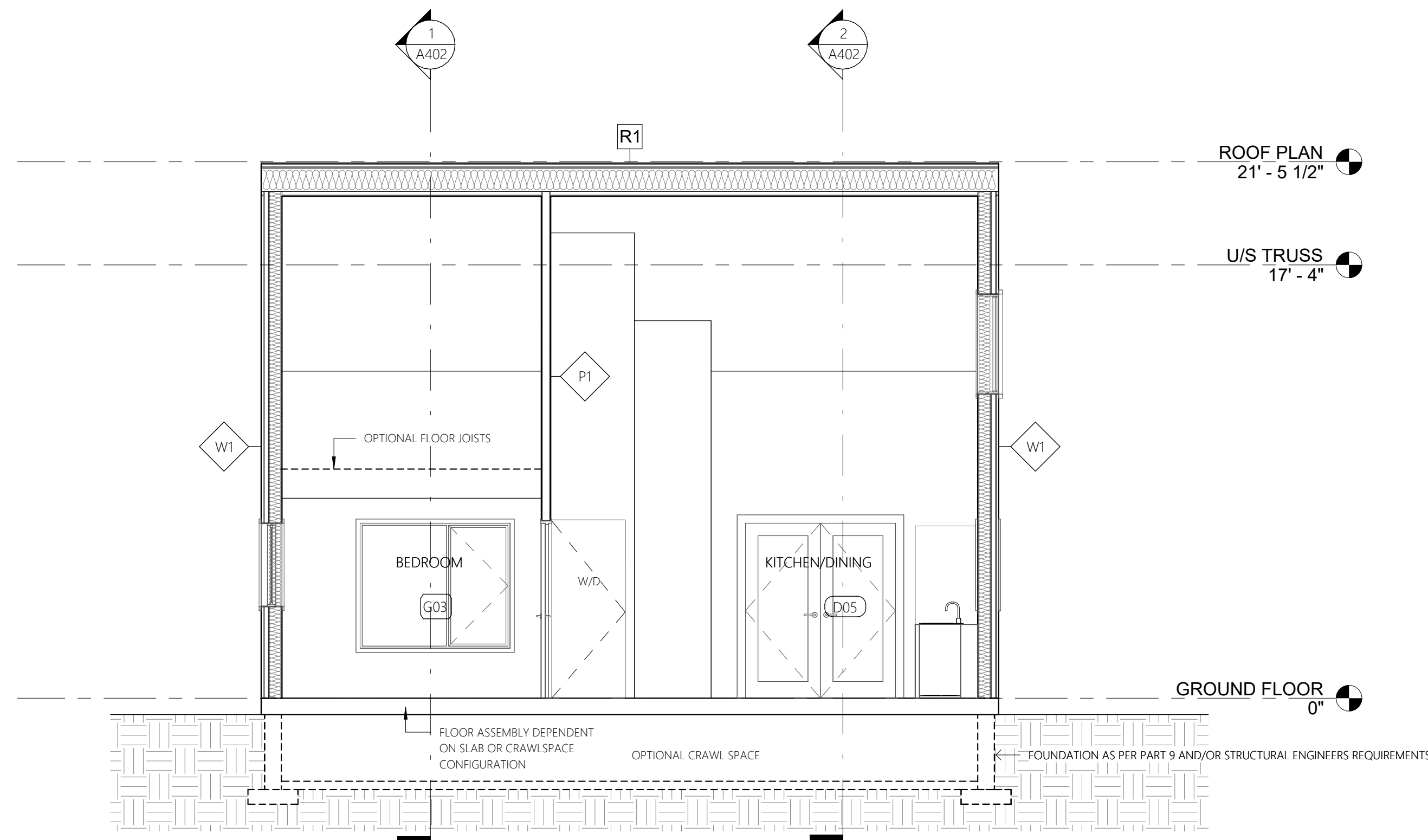
20240715 11:45:10 AM



2 SECTION 1
1: 50



1 SECTION 2
1: 50



3 SECTION 3
1: 50

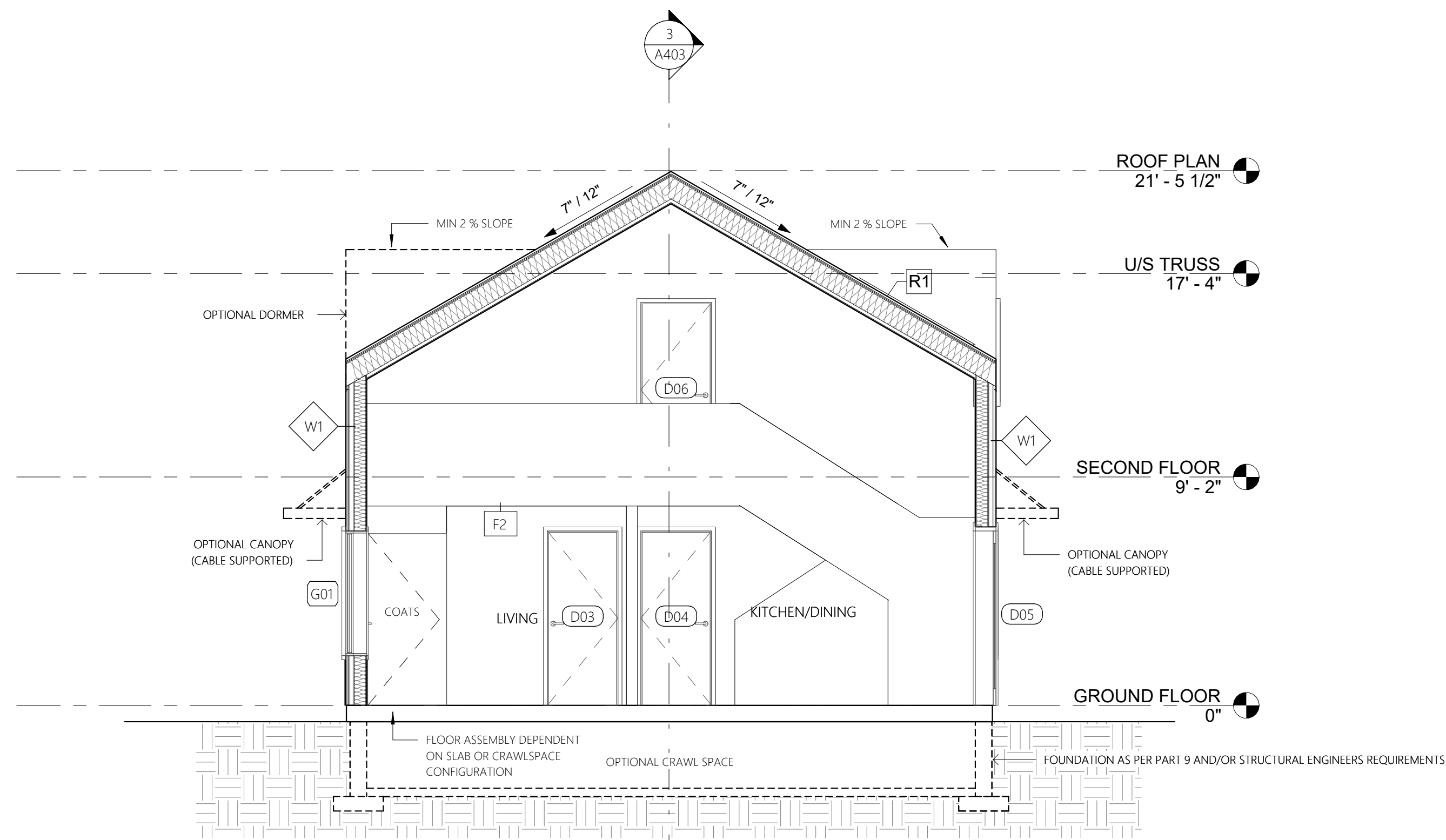
TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

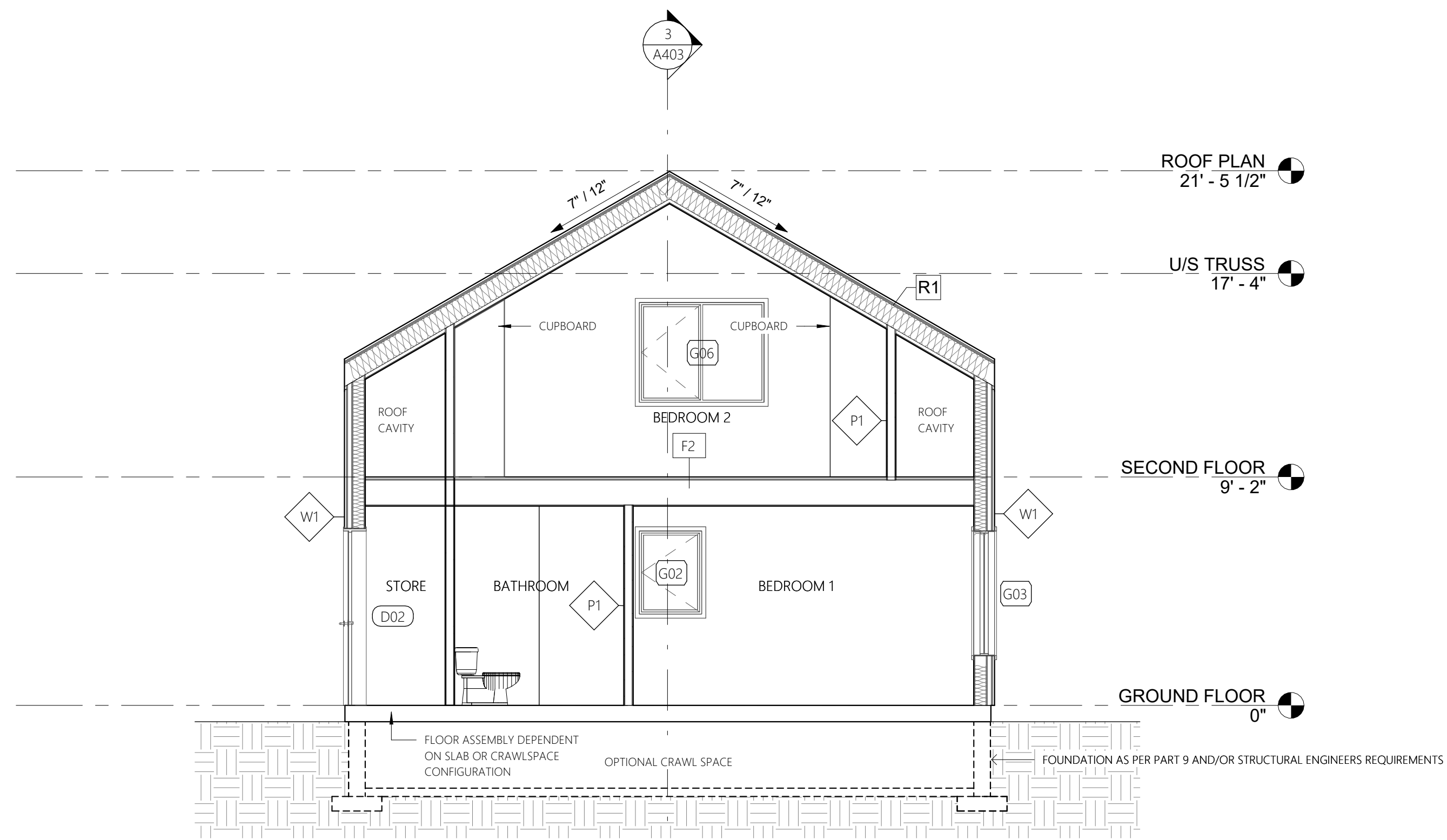
DATE
2024-07-15

SHEET
BUILDING SECTIONS-1 BED

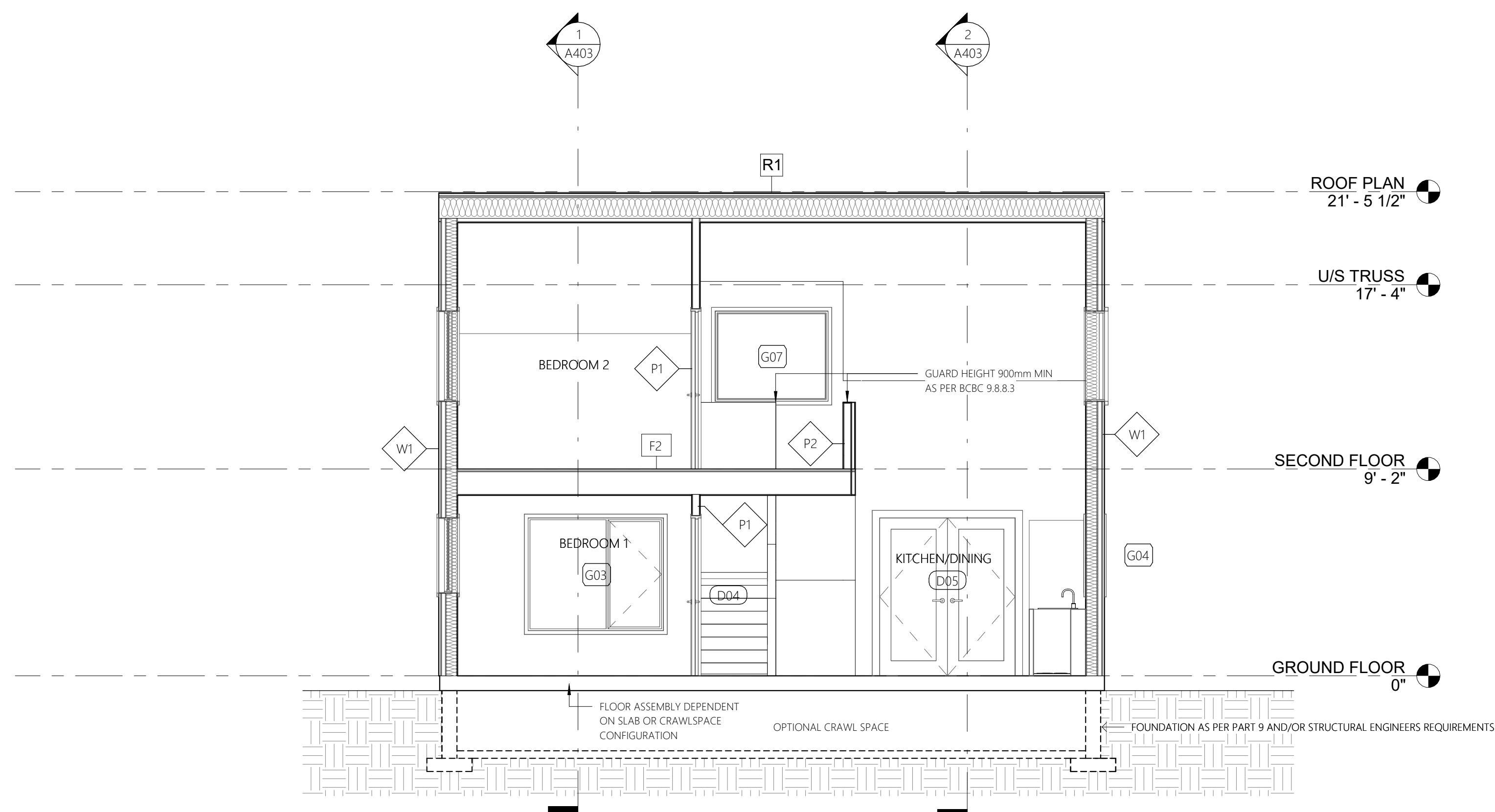
A402



2 SECTION 1
1:50



1 SECTION 2
1:50



3 SECTION 3
1:50

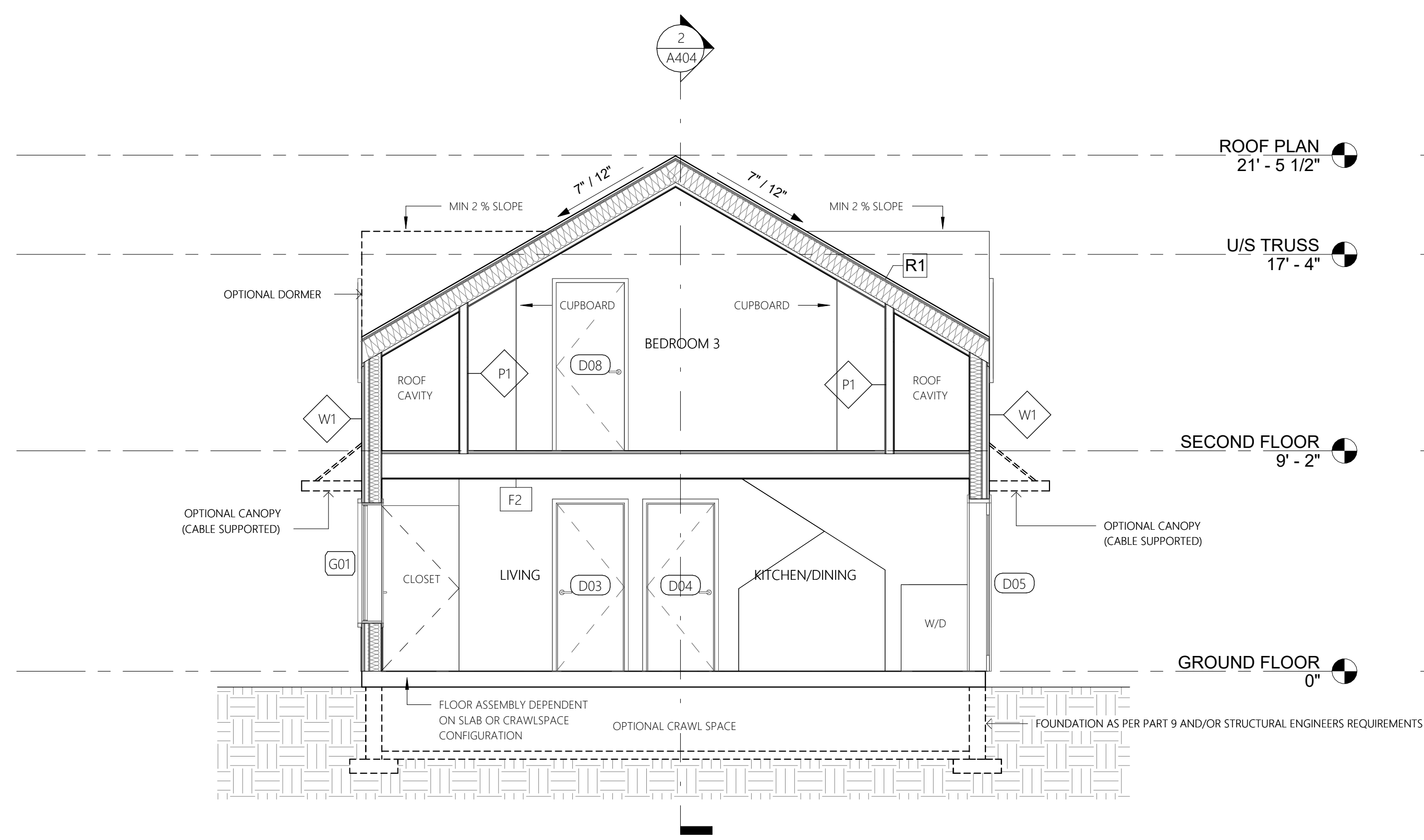
TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

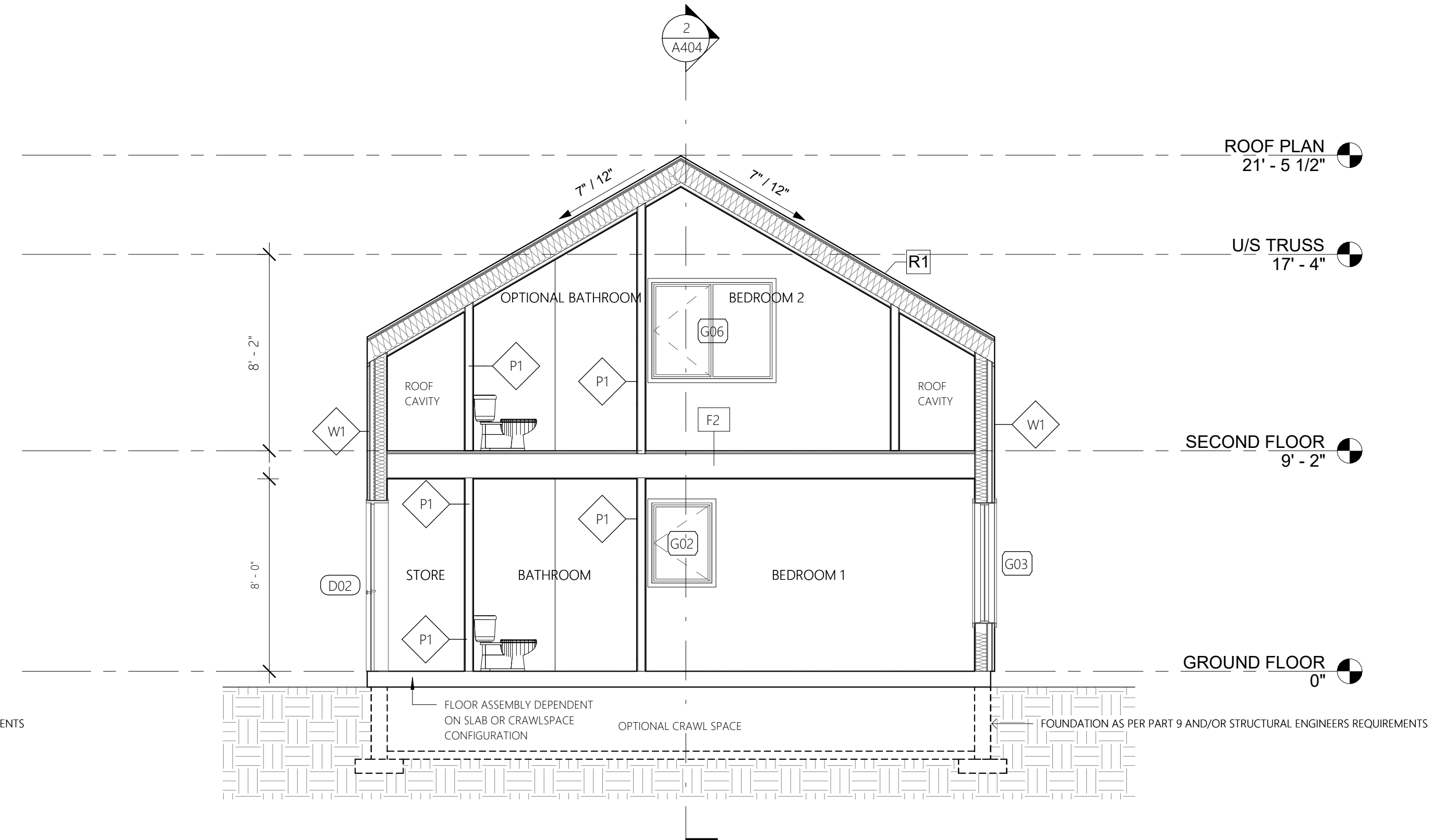
DATE
2024-07-15

SHEET
BUILDING SECTIONS-2 BED

A403



1 SECTION 1
1:50



3 SECTION 2
1:50



2 SECTION 3
1:50






TOWN OF CRESTON
ADU

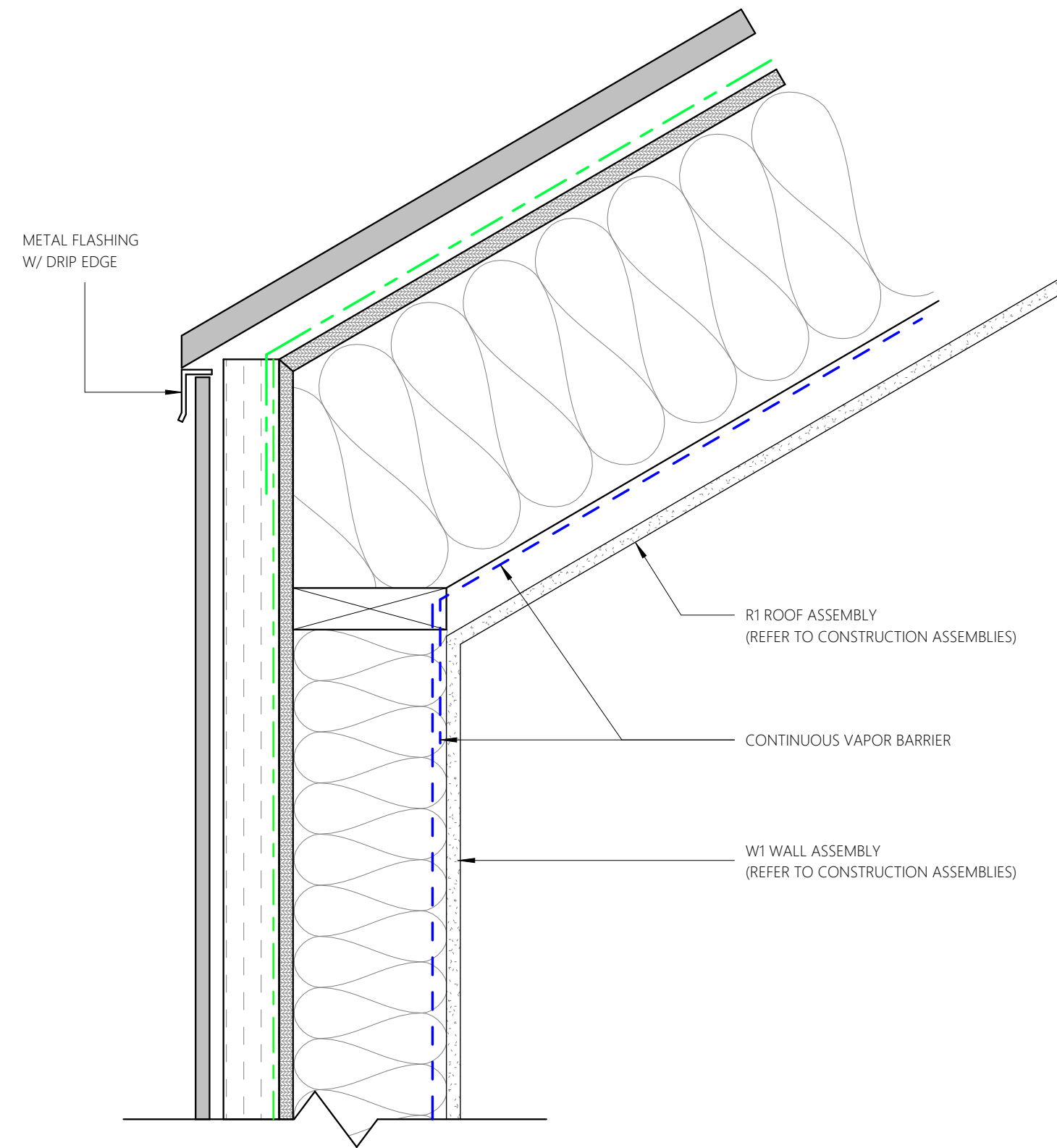
ADDRESS
Creston, BC

DATE
2024-07-15

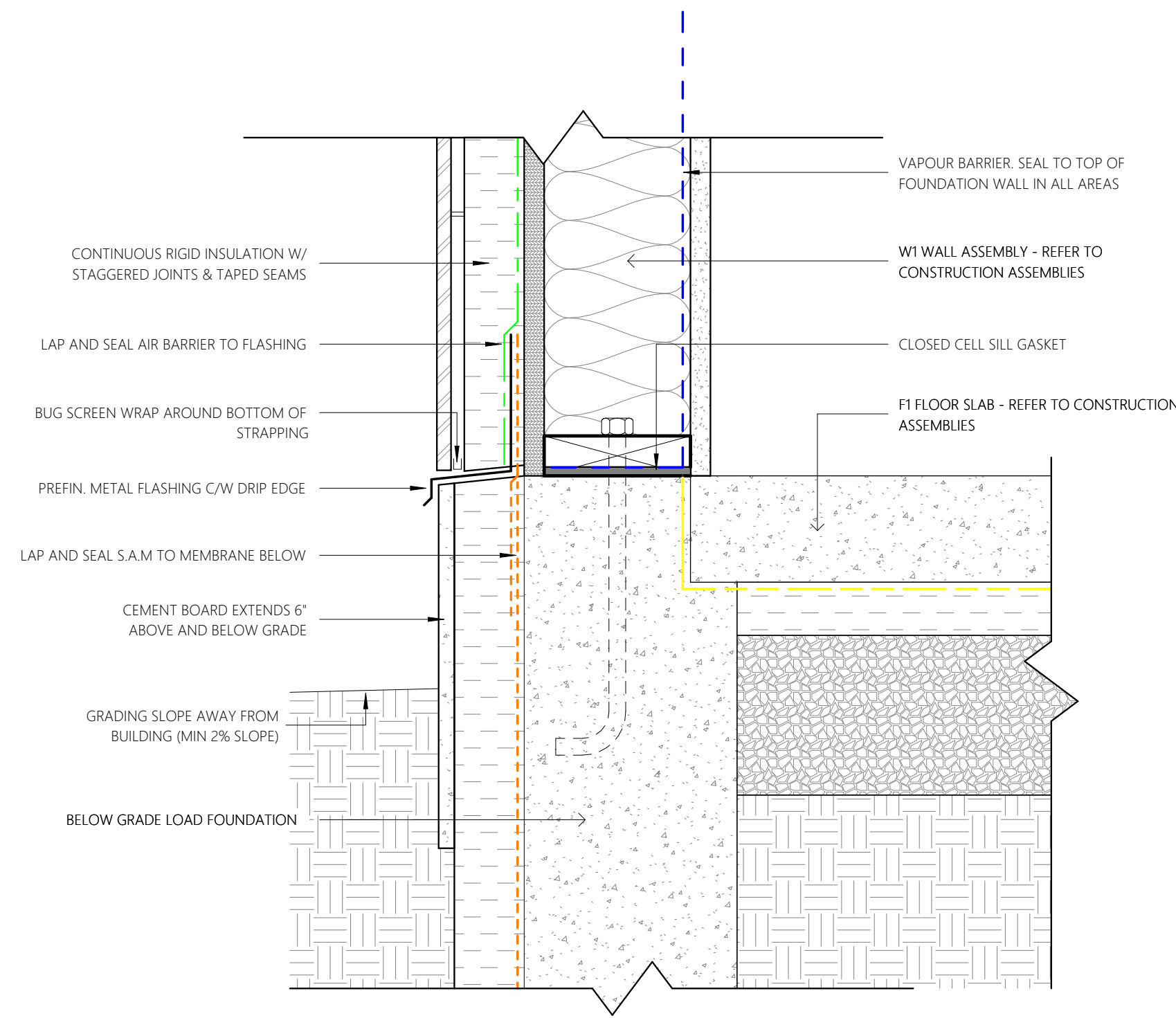
SHEET
BUILDING SECTIONS-3 BED

A404

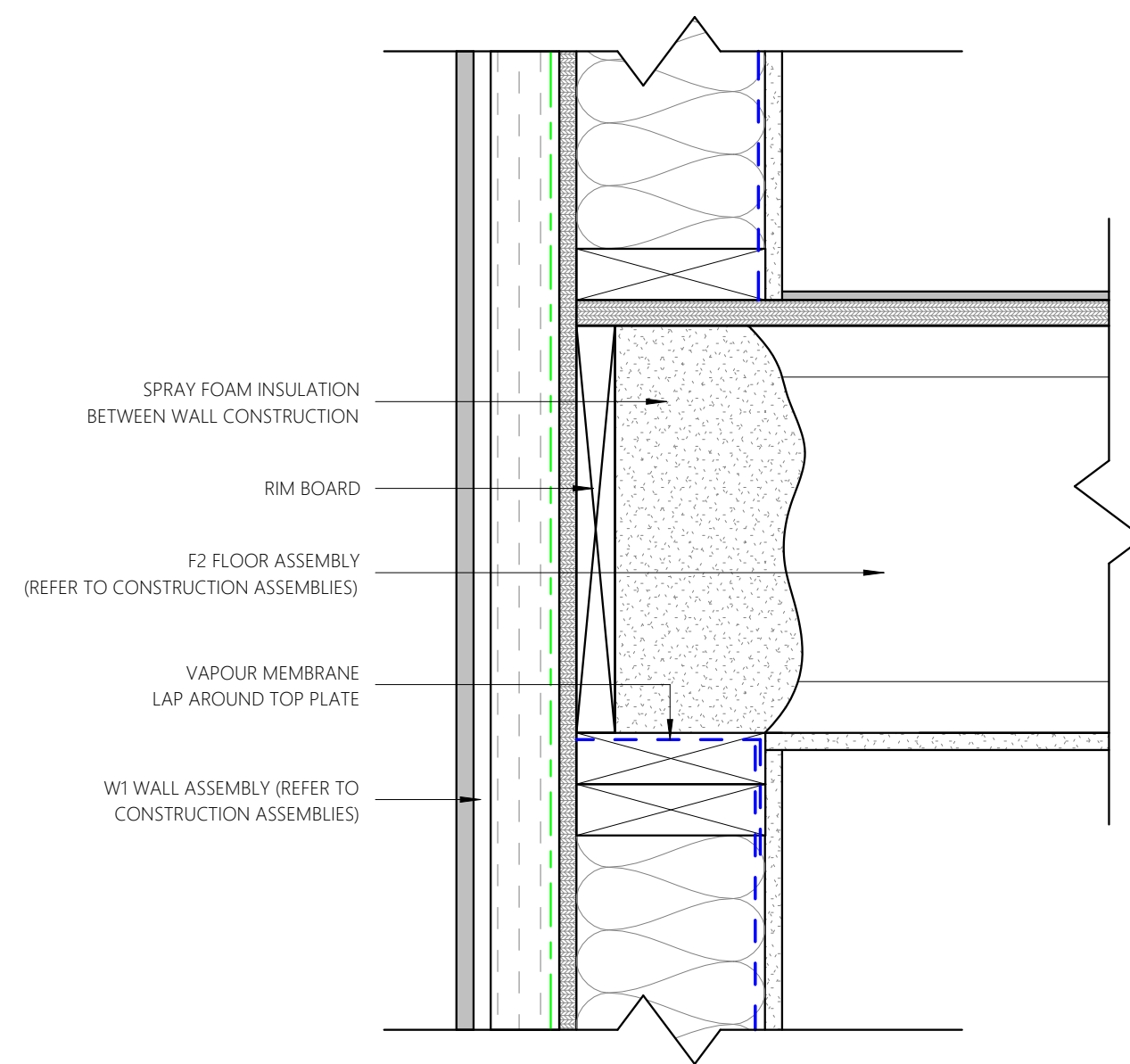
MEMBRANE LINE TYPES	
	VAPOUR BARRIER
	AIR AND WEATHER BARRIER
	SPRAY APPLIED DAMPPROOFING MEMBRANE
	TORCH ON MEMBRANE
	RADON PROOF MEMBRANE



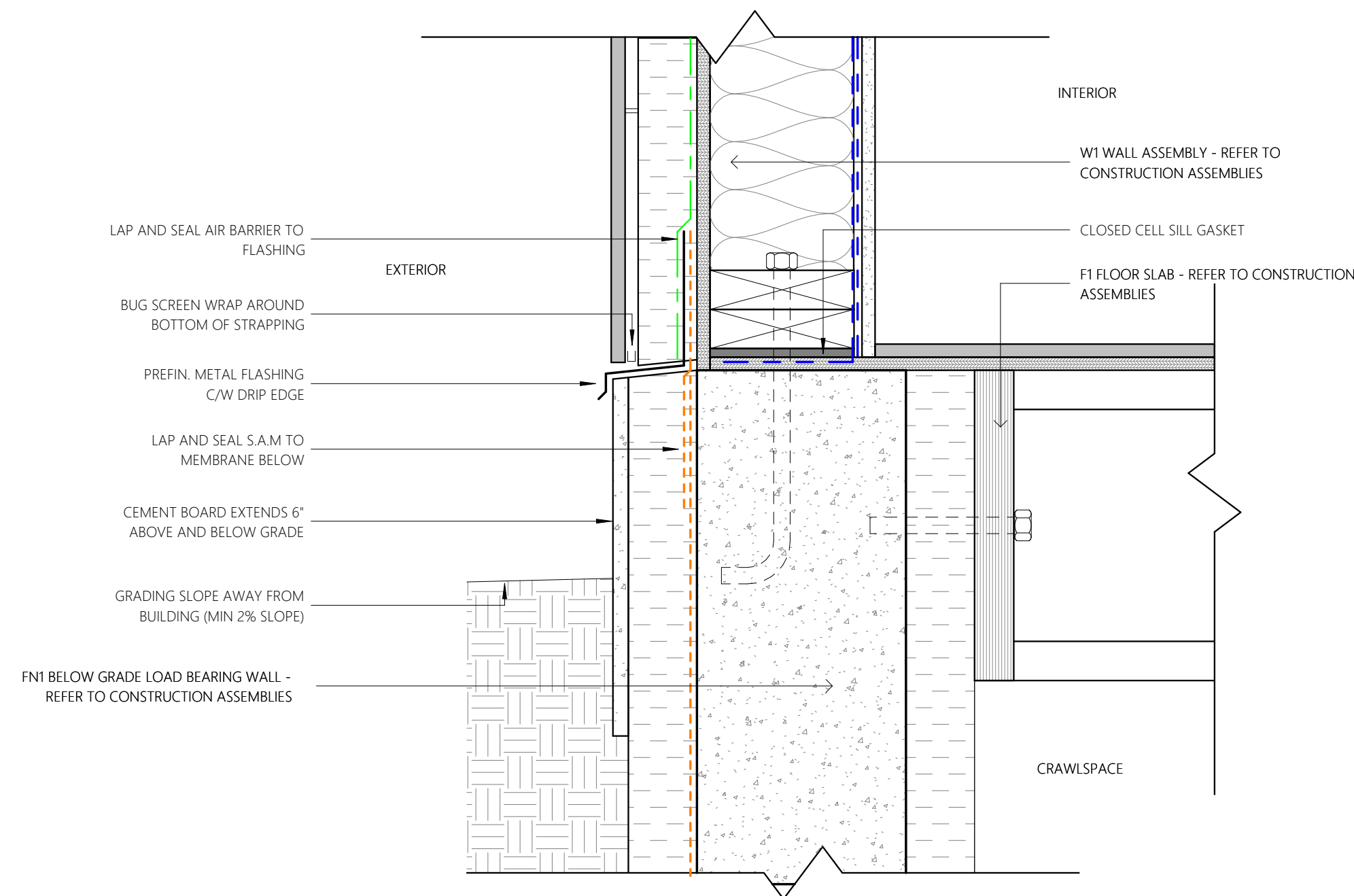
1 TYPICAL ROOF TO WALL TRANSITION DETAIL
1:5



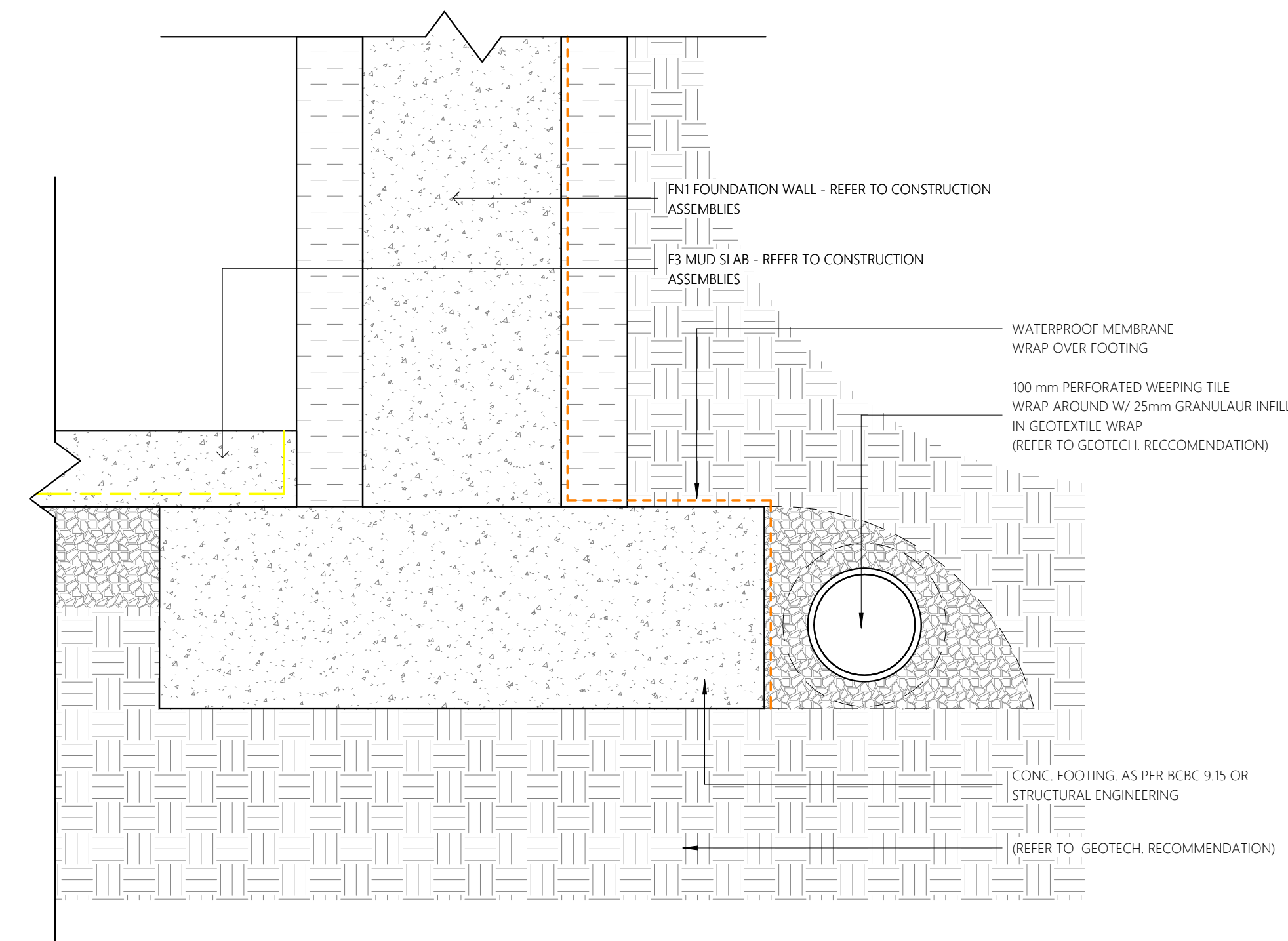
5 TYP. WALL TO SLAB ON GRADE DETAIL
1:5



2 TYP. FLOOR INTERSECCION DETAIL
1:5



4 TYP. WALL TO FLOOR DETAIL
1:5



3 TYP. FOUNDATION FOOTING DETAIL
1:5

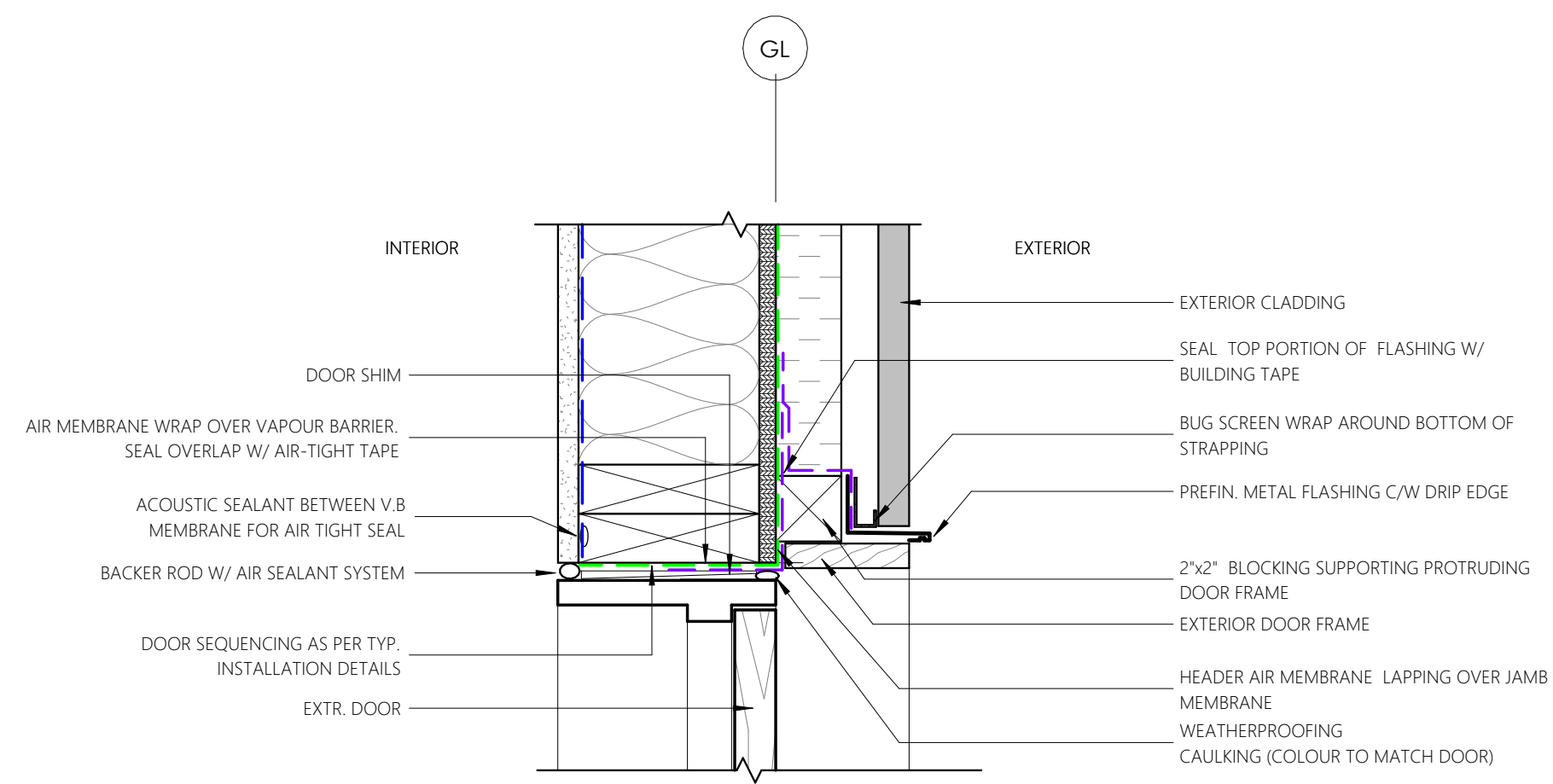
TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

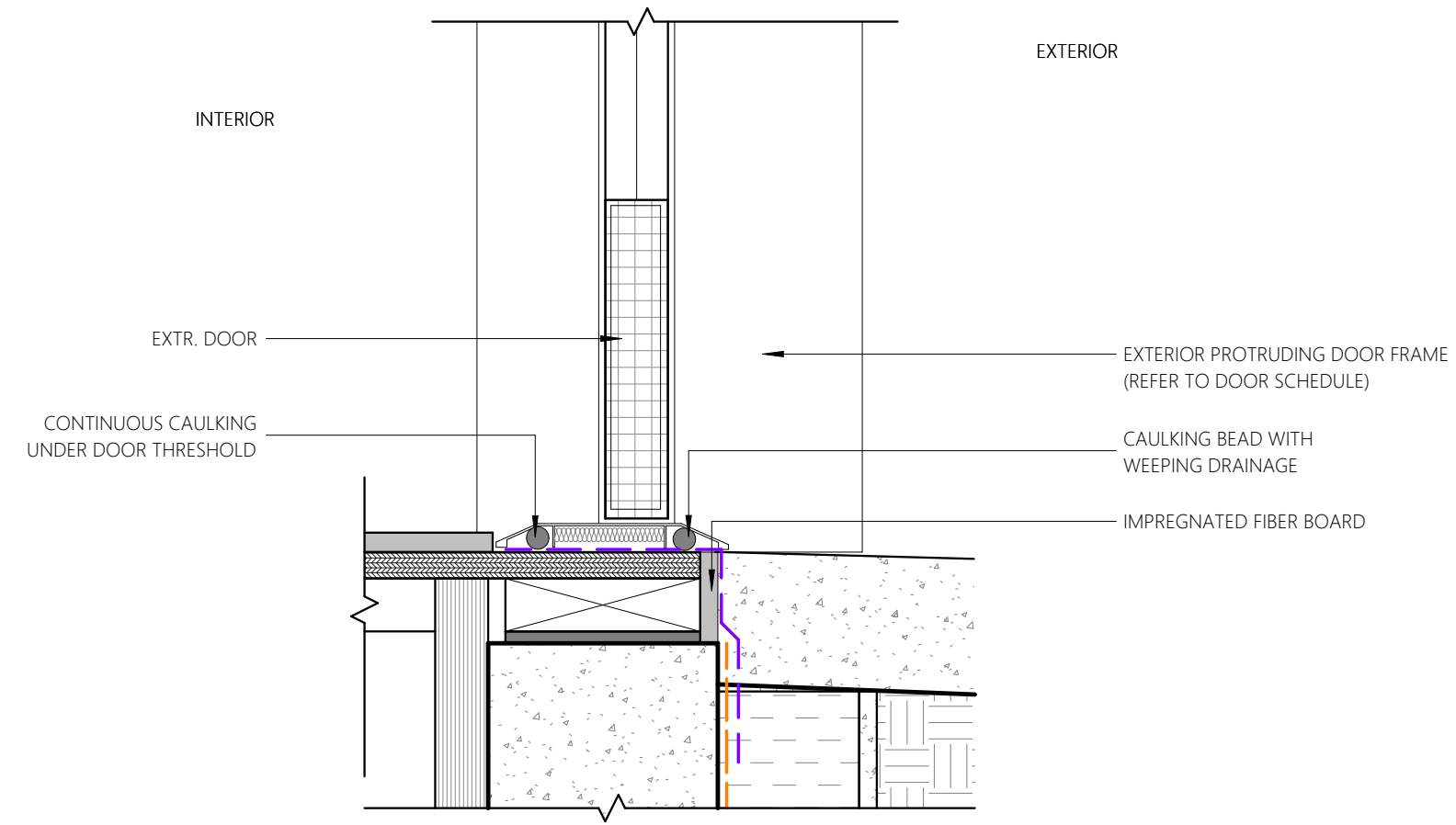
DATE
2024-07-15

SHEET
TYPICAL DETAILS

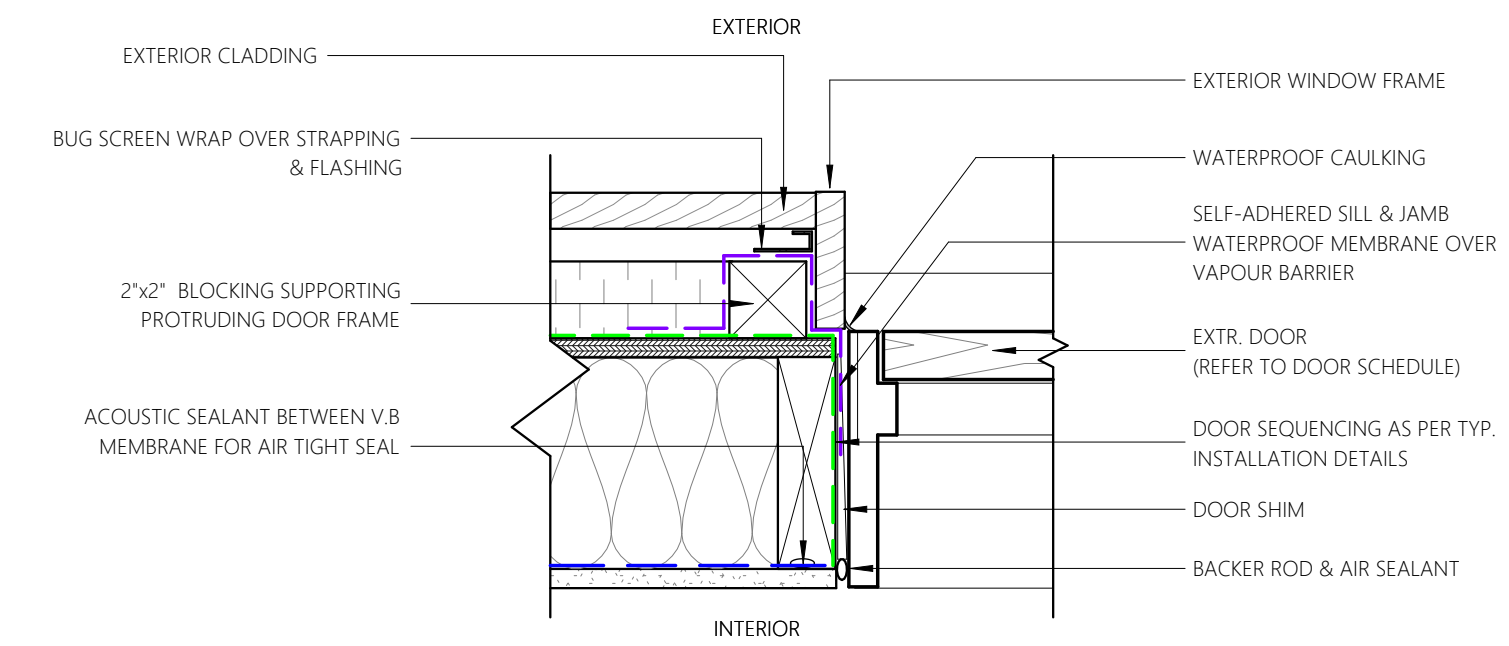
A501



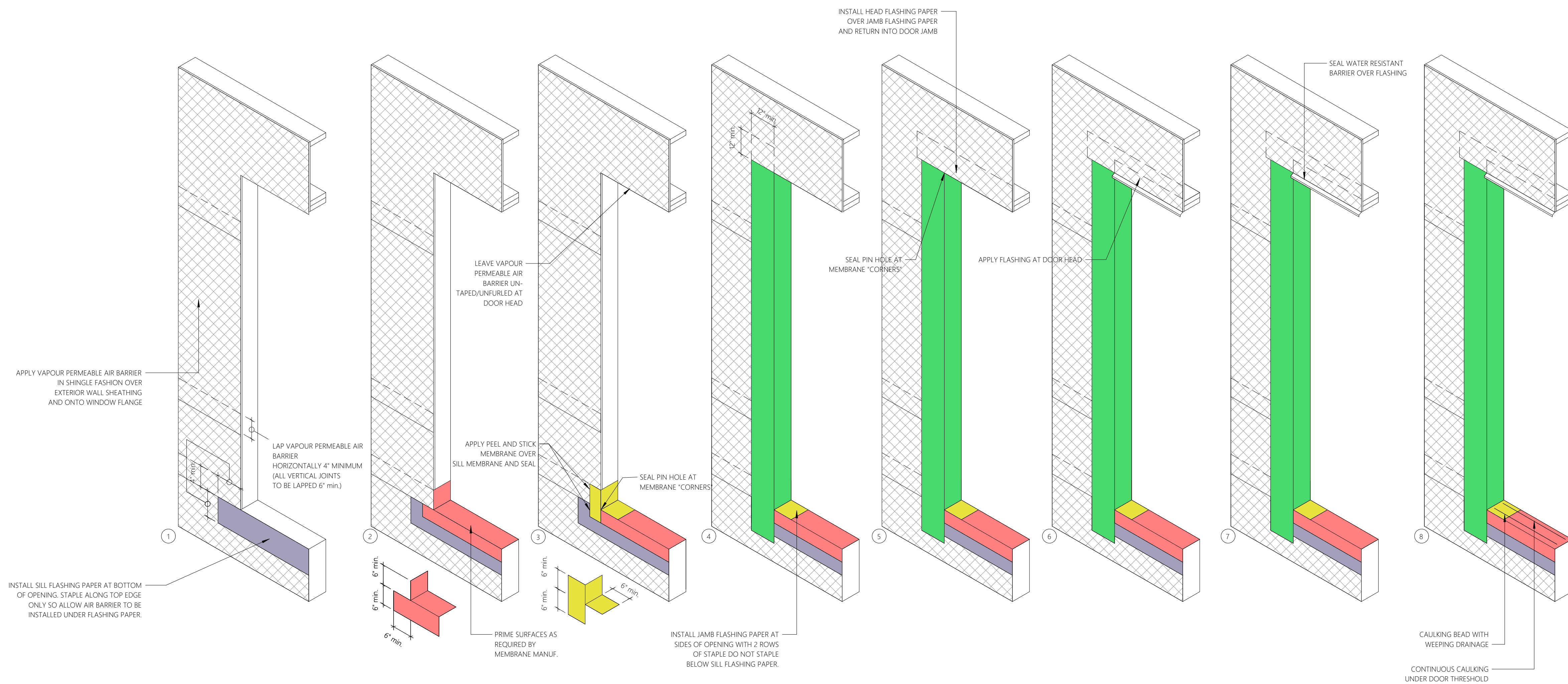
1 TYP. DOOR HEAD DETAIL
1:5



2 TYP. DOOR SILL DETAIL
1:5



3 TYP. DOOR JAMB DETAIL
1:5



4 TYP. DOOR INSTALLATION DETAIL
3/4" = 1'-0"

NOTE:
STEP 4.5, 6, 7, AND 8 SHOULD BE APPLIED TO DOOR JAMBS AND HEADS

NOTE:
- FOR APPLICATION OF THIS DETAIL, THE AIR BARRIER HAS BEEN NAMED AS DIFFERENT COMPONENT (SUCH AS WATER RESISTANT BARRIER, SILL FLASHING PAPER, JAMB FLASHING PAPER) FOR EASE OF IDENTIFICATION.

- THIS DETAIL HAS BEEN DRAWING FOR SIMPLICITY. IT DOES NOT SHOW THAT VARIOUS SHIMS, TRIMS, AND MULTIPLE LAYERS OR FLASHING. THE INTENT OF THIS DETAIL IS TO SHOW THE GENERAL ARRANGEMENT OF HOW THE AIR BARRIER IS INSTALLED.

NOTE:
STEP 4.5, 6, 7, AND 8 SHOULD BE APPLIED TO DOOR JAMBS AND HEADS

TOWN OF CRESTON
ADU

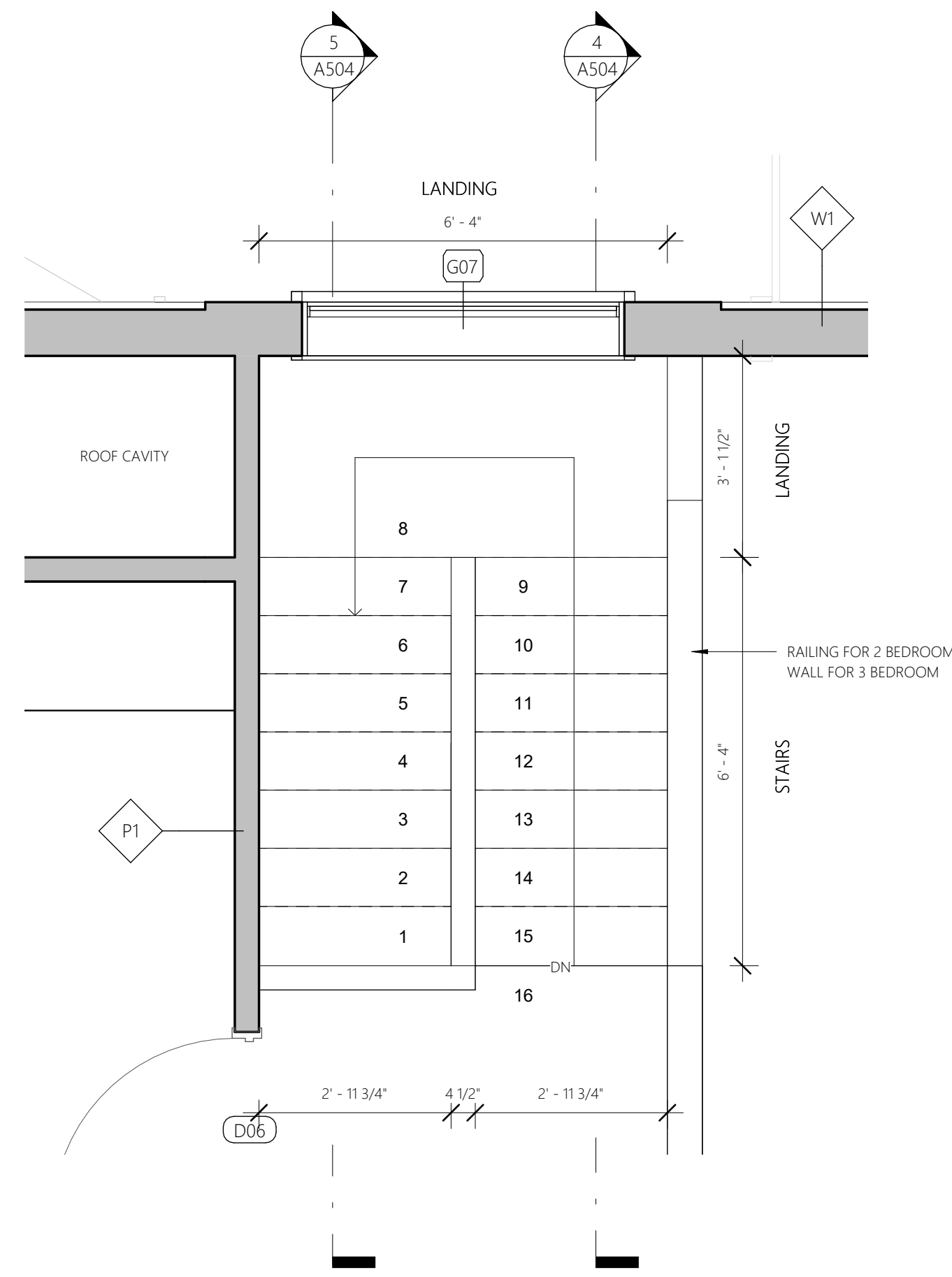
ADDRESS
Creston, BC

DATE
2024-07-15

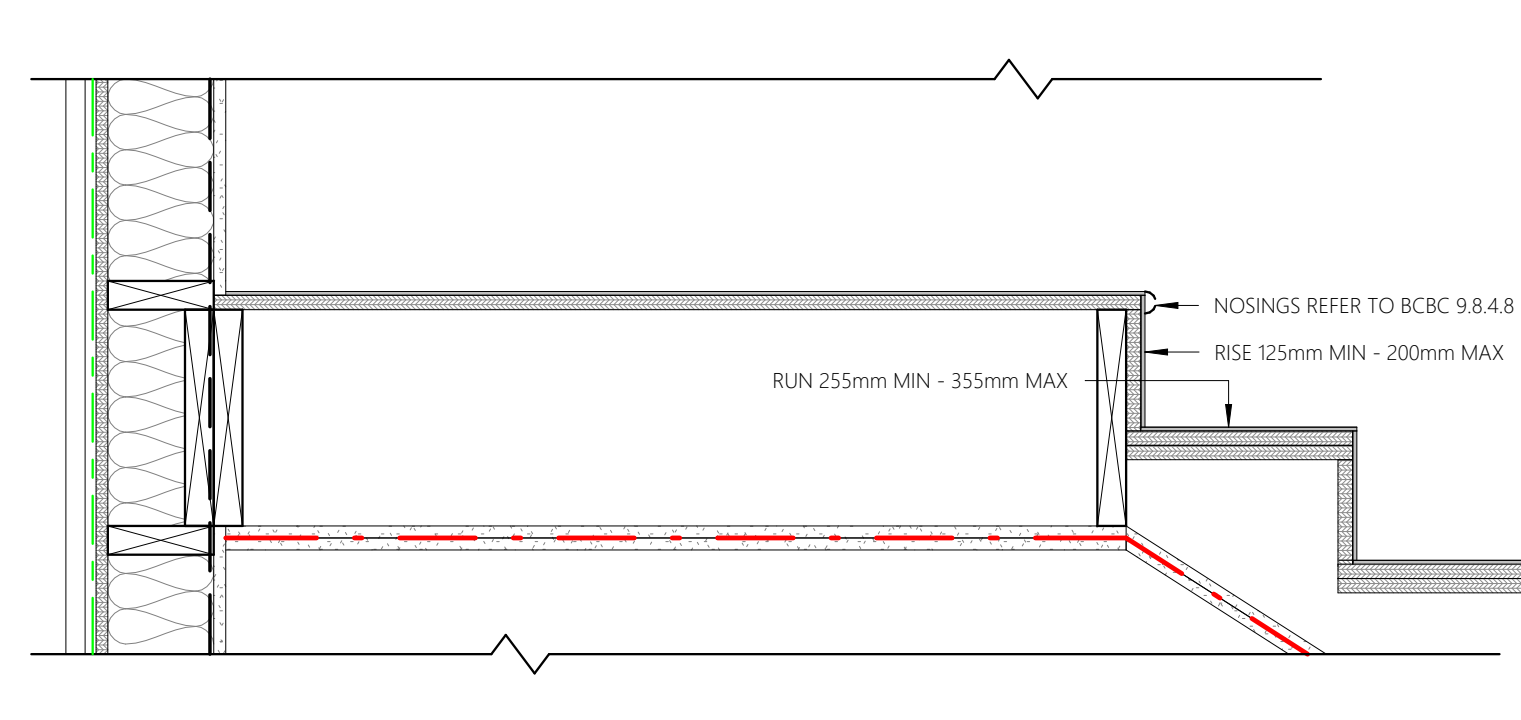
SHEET
TYPICAL DETAILS

A502

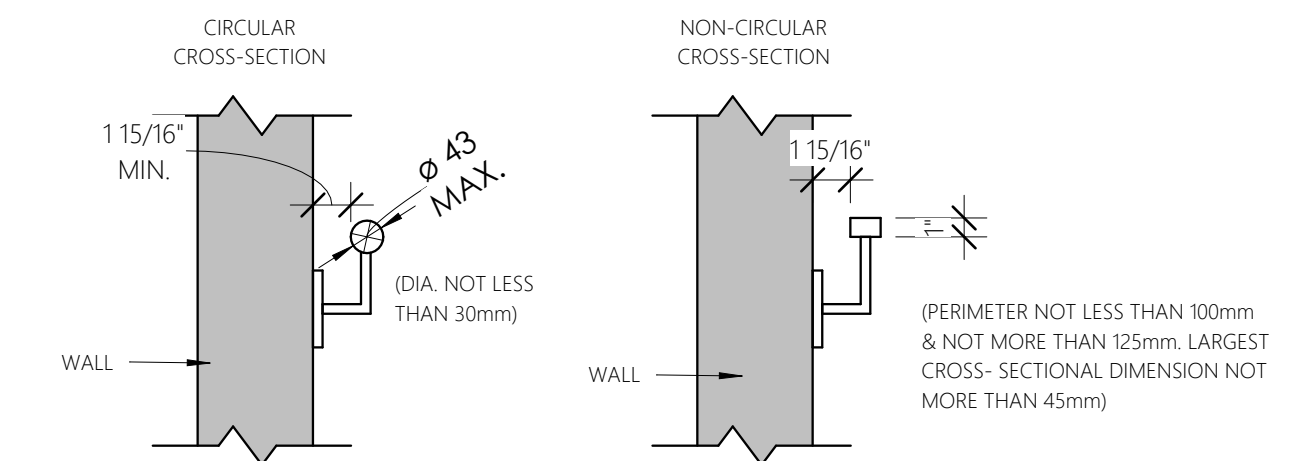
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO CONFIRM ALL CIRCULATION AND HEIGHT REQUIREMENTS



3 STAIRS PLAN DETAIL
1:25

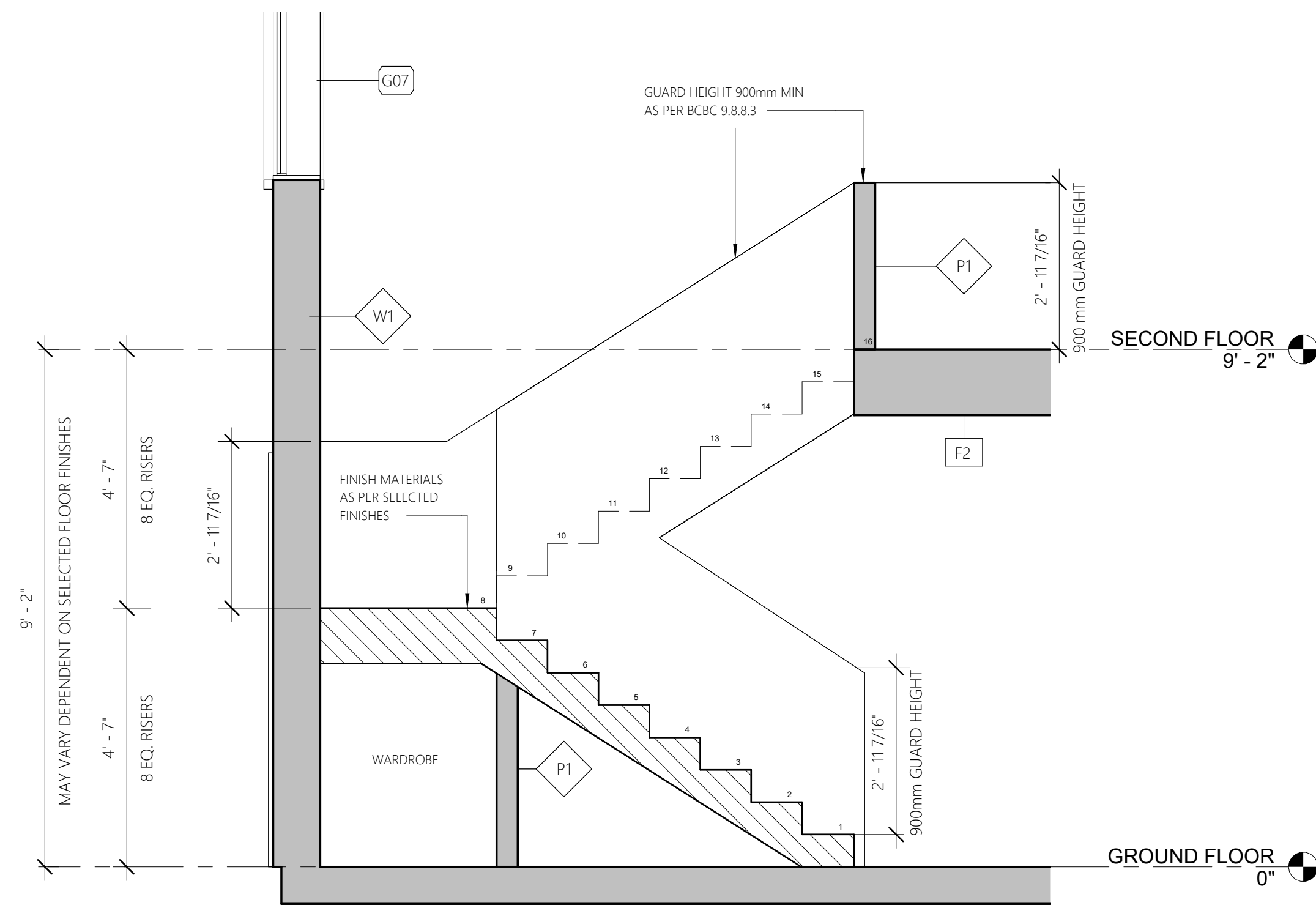


1 TYP. WOOD STAIR LANDING
1:10

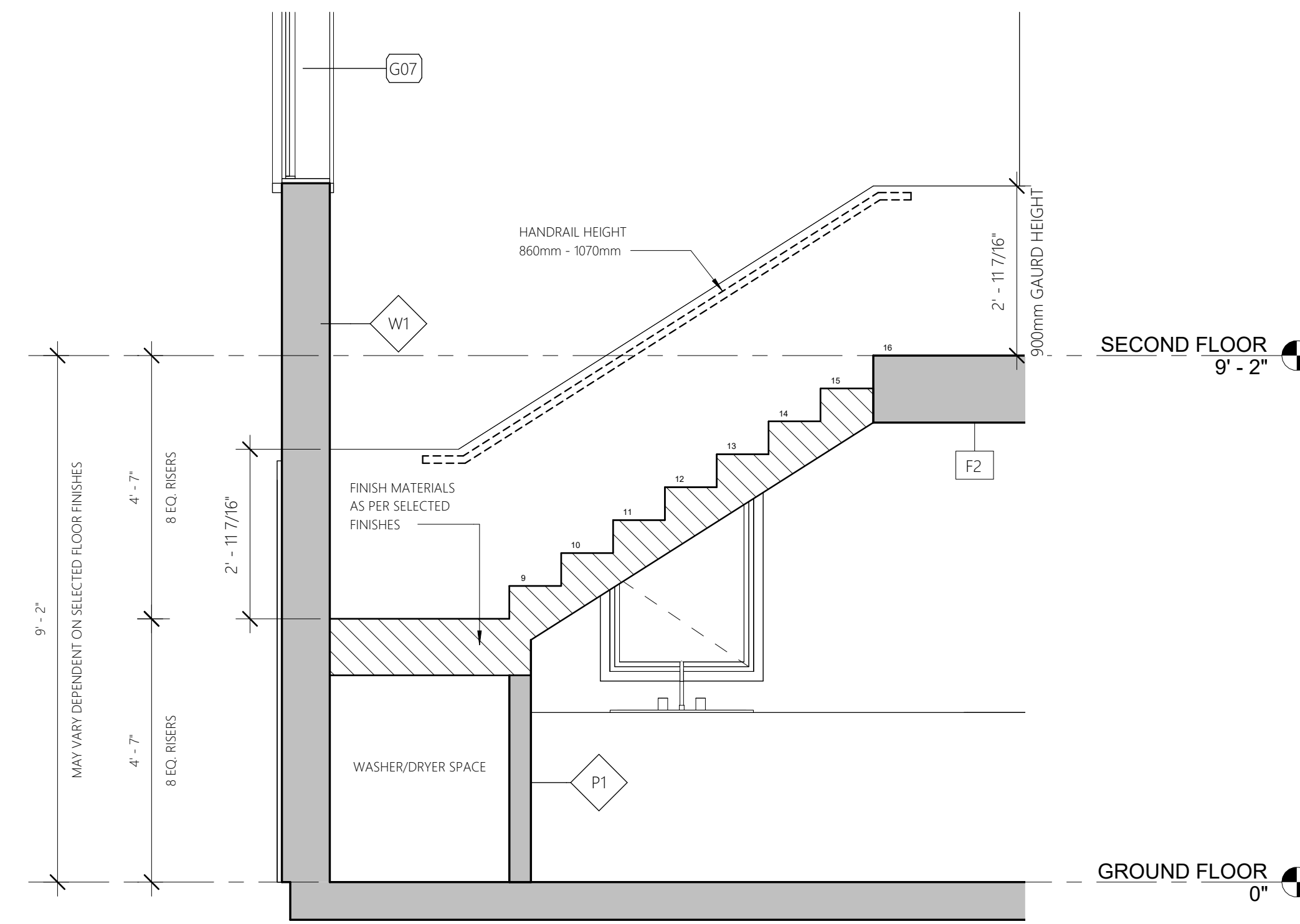


NOTE:
60mm MIN. CLEARANCE BETWEEN HANDRAIL & SURFACE IF SURFACE BEHIND IT IS ROUGH OR ABRASIVE

2 TYP. STAIR RAILING DETAILS
1:10



5 STAIRS SECTION DETAIL 1
1:25



4 STAIRS SECTION DETAIL 2
1:25

TOWN OF CRESTON
ADU

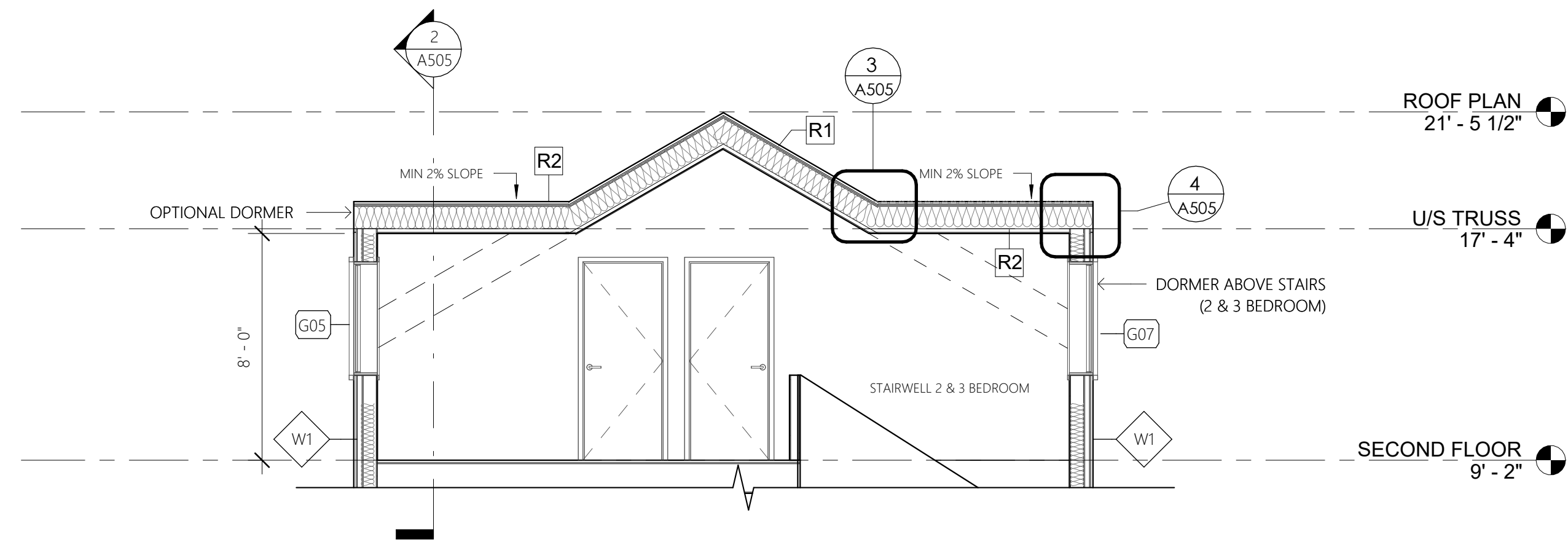
ADDRESS
Creston, BC

DATE
2024-07-15

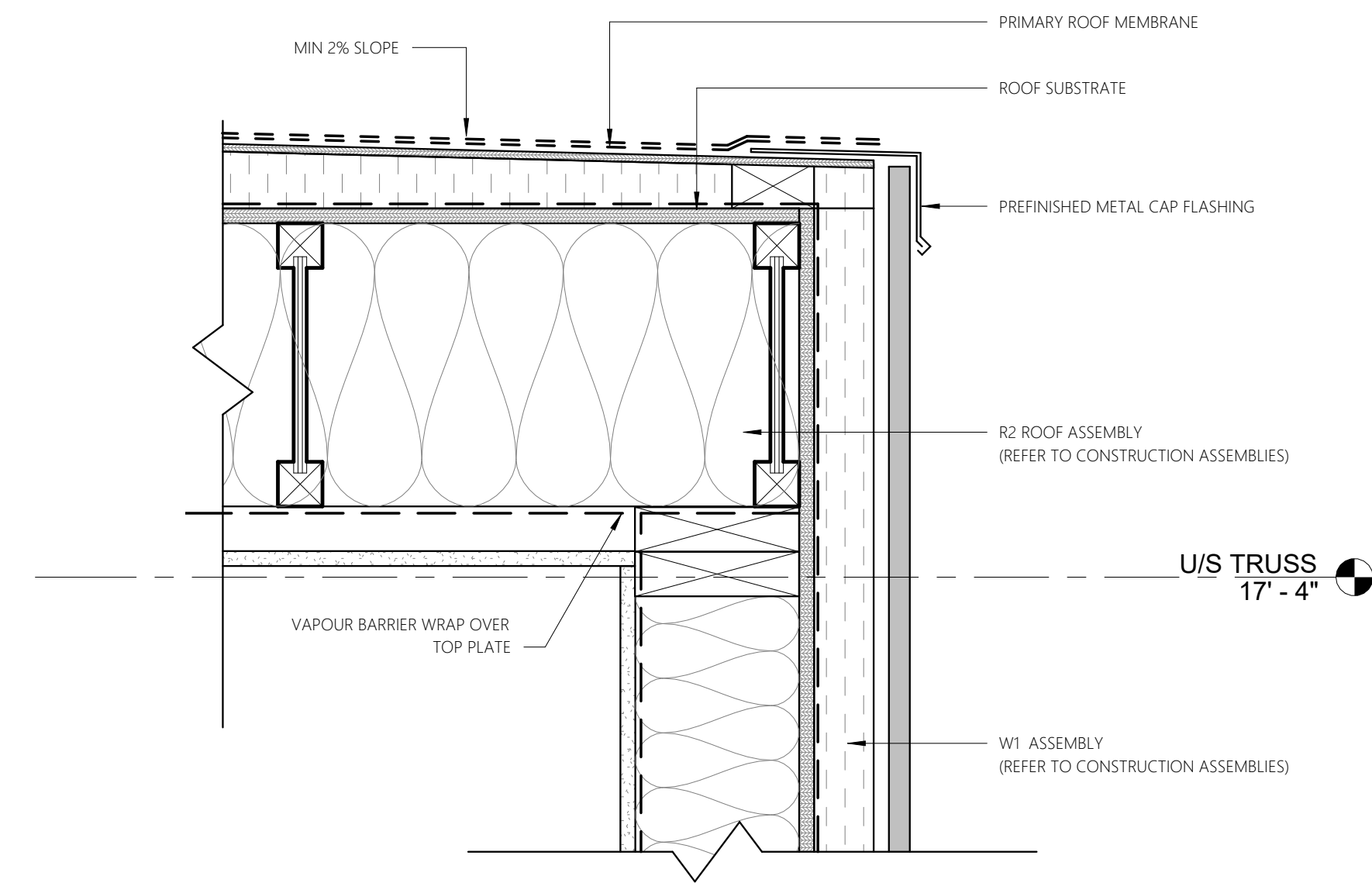
SHEET
DETAILS STAIRS

A504

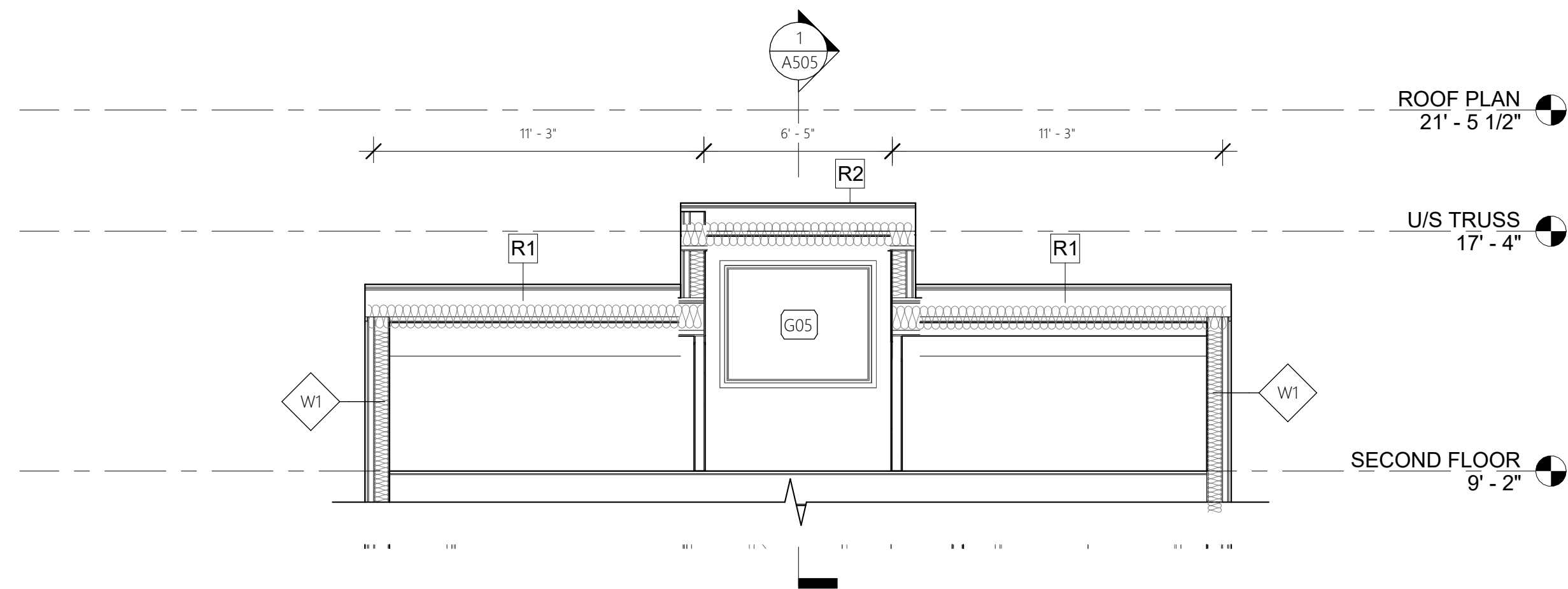
NOTE: REFER TO CURRENT ACCESSIBILITY STANDARDS TO CONFIRM ALL CIRCULATION AND HEIGHT REQUIREMENTS



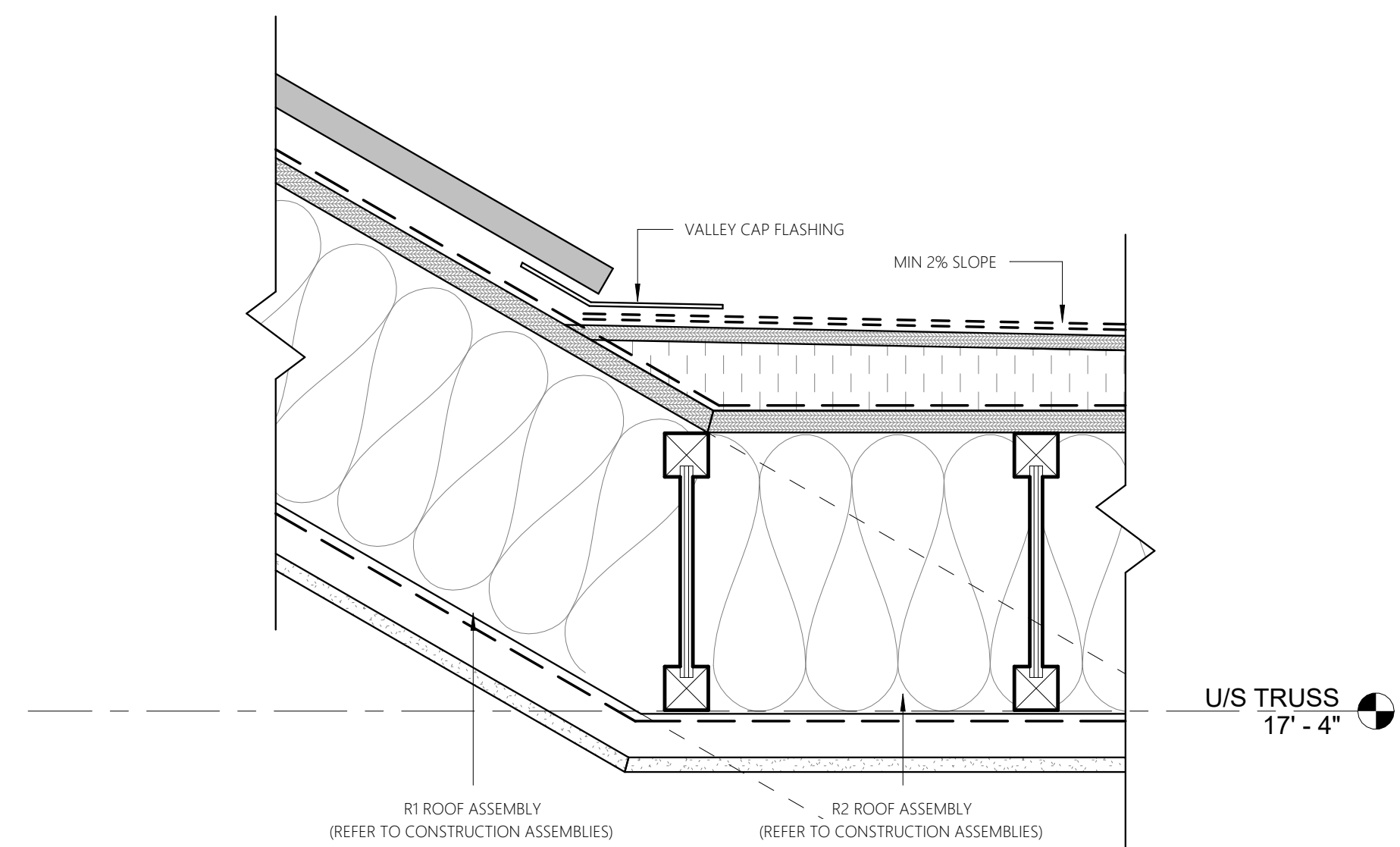
1 DORMER WINDOW SECTION
1:50



4 DORMER WINDOW SECTION - Callout 1
1:5



2 Section 15
1:50



3 DORMER WINDOW SECTION - Callout 2
1:5

TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

SHEET
DETAILS DORMER WINDOW

A505

2024-07-15 11:45:10 AM



TOWN OF CRESTON
ADU

ADDRESS
Creston, BC

DATE
2024-07-15

SHEET
PERSPECTIVES

A1000

2024/07/15 11:45:17 AM